

MULTI-FAMILY RESIDENCE

21 UNITS AT
 556 El Camino Real
 BURLINGAME CA 94010



REVISION	BY
1	XXXXX

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556 EL CAMINO REAL
 BURLINGAME, CA

DATE	03/09/17
SCALE	N.T.S.
DRAWN	VMK
JOB	ROMAN
SHEET	A-00
OF	SHEETS

MULTI-FAMILY RESIDENCE

21 UNITS AT
556 El Camino Real
BURLINGAME CA 94010



STREETSCAPE

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1	XXXXX

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SHEET	A-0-01
OF	SHEETS

21 UNIT CONDOMINIUM 556 EL CAMINO REAL BURLINGAME, CA
 FOR ROMAN KNOP 261 17TH STREET SAN FRANCISCO, CA 94121
 PH: (415) 516-5180

TITLE SHEET

ABBREVIATIONS

ACOUS.	ACOUSTICAL	H.B.	HOSE BIBB	SIM.	SIMILAR
AB.	ANCHOR BOLT	H.C.	HOLLOW CORE	S.N.D.	SANITARY NAPKIN
AD.	AREA DRAIN	HDWD.	HARDWOOD	S.N.R.	DISPENSER
ADJ.	ADJUSTABLE	HDR.	HEADER		SANITARY NAPKIN
AGGR.	AGGREGATE	H.M.	HOLLOW METAL		RECEPTACLE
AL.	ALUMINUM	HORIZ.	HORIZONTAL		
ANOD.	ANODIZED	HR.	HOUR	SPEC.	SPECIFICATION
APPROX.	APPROXIMATE	HGT.	HEIGHT	SQ.	SQUARE
ARCH.	ARCHITECTURAL	ID.	INSIDE DIAMETER	STD.	STANDARD
ASPH.	ASPHALT	INSUL.	INSULATION	STL.	STEEL
BD.	BOARD	INT.	INTERIOR	STOR.	STORAGE
BLDG.	BUILDING	JAN.	JANITOR	STR.	STRUCTURAL
BLK.	BLOCK	JT.	JOINT	SUSP.	SUSPENDED
BLKG.	BLOCKING	KIT.	KITCHEN	T.B.	TOWEL BAR
BM.	BEAM	LAB.	LABORATORY	T.B.N.	TYP. BOUNDARY
BOT.	BOTTOM	LAM.	LAMINATE	TEL.	TELEPHONE
CAB.	CABINET	LAV.	LAVATORY	TEN.	TYP. EDGE
CB.	CATCH BASIN	LAV. J.	LAVATORY JOINT		NAILING
CEM.	CEMENT	LT.	LIGHT	T. & G.	TOP OF CURB
CER.	CERAMIC	LT. WT.	LIGHTWEIGHT	THK.	THICK
C.I.	CAST IRON	MAX.	MAXIMUM	TFP.	TOP OF PAVEMENT
C.J.	CONSTRUCTION JOINT	M.B.	MACHINE BOLT	TPD.	TOILET PAPER
CLG.	CEILING	M.C.	MEDICINE CABINET		DISPENSER
CLKG.	CAULKING	M.ECH.	MECHANICAL	T.V.	TELEVISION
CLR.	CLEAR	MEMB.	MEMBRANE	TW.	TOP OF WALL
COL.	COLUMN	MET.	METAL	TYP.	TYPICAL
CONC.	CONCRETE	MFR.	MANUFACTURER	U.ON.	UNLESS OTHERWISE NOTED
CONN.	CONNECTION	M.H.	MANHOLE	VAT.	VINYL ASBESTOS TILE
CONT.	CONTINUOUS	MIN.	MINIMUM	VERT.	VERTICAL
CONR.	CORRIDOR	MIR.	MIRROR	VEST.	VESTIBULE
CO.	CLEAN OUT	MISC.	MISCELLANEOUS		
CTS&K	COUNTERSUNK	MOUNTED	MOUNTED		
CNTR.	COUNTER	MULL.	MULLION		
CTR.	CENTER				
DBL.	DOUBLE	N.	NORTH	W.	WEST
DEPT.	DEPARTMENT	N.C.	NOT IN CONTRACT	W/C.	WITH CLOSET
D.F.	DRINKING FOUNTAIN	NO. OR #	NUMBER	WD.	WOOD
DET.	DETAIL	NOM.	NOMINAL	WH.	WATER HEATER
DIA.	DIAMETER	N.T.S.	NOT TO SCALE	W/O	WITHOUT
DM.	DIMENSION	OBS.	OBSOLETE	W/P.	WATERPROOF
DISP.	DISPENSER	O.C.	ON CENTER	W/SCOT	WAINSCOT
DN.	DOWN	O.D.	OUTSIDE DIAMETER	WT.	WEIGHT
DR.	DOOR	OFF.	OFFICE	W/WM.	WELDED WIRE MESH
DWR.	DRAWER	OPP.	OPPOSITE		
D.S.	DOWNSPOUT				
DWG.	DRAWING				
E.	EAST	PL.	PLATE	&	AND
EA.	EACH	P. LAM.	PLASTIC LAMINATE	L	ANGLE
EL.	ELEVATION	PLAS.	PLASTER	@	AT
ELEC.	ELECTRICAL	PLY.	PLYWOOD	CL	CENTERLINE
ELEV.	ELEVATOR	FR.	FRAMES	Ø	DIAMETER
EMER.	EMERGENCY	FSF.	FOUNDS PER SQ. FOOT	Q	FENNY
EP.	ELEC. PANELBOARD	P.S.I.	POUNDS PER SQ. INCH	Q	PERPENDICULAR
EQ.	EQUIPMENT	PT.	POINT	⊥	PLATE
E.W.C.	ELEC. WATER HEATER	P.T.D.	PAPER TOWEL DISPENSER	#	FOUND OR NUMBER
EXST.	EXISTING	P.T.D./R.	PAPER TOWEL DISPENSER & RECEPTACLE	(E)	EXISTING
EXPO.	EXPOSED	PTN.	PARTITION	(N)	NEW
EXP.	EXPANSION	P.T.R.	PAPER TOWEL RECEPTACLE	⊕	SQUARE FOOT
EXT.	EXTERIOR	RAD.	RADIUS		
FA.	FIRE ALARM	RID.	ROOF DRAIN		
F.D.	FLOOR DRAIN	REFR.	REFRIGERATOR		
FDN.	FOUNDATION	REINF.	REINFORCED		
FE.	FIRE EXTINGUISHER	REQ.	REQUIRED		
FE.C.	FIRE EXTING. CABINET	RESIL.	RESILIENT		
F.H.C.	FIRE HOSE CABINET	RM.	ROOM		
FIN.	FINISH	RO.	ROUGH OPENING		
FL.	FLOOR	RUD.	REDWOOD		
FLASH.	FLASHING	R.W.L.	RAIN WATER LEADER		
FLWR.	FLUORESCENT	S.	SOUTH		
F.O.C.	FACE OF CONCRETE	S.B.	SOLID BLOCKING		
F.O.F.	FACE OF FINISH	S.C.	SOLID CORE		
F.O.S.	FACE OF STUDS	S.C.D.	SEAT COVER DISP.		
FRF.	FIREPROOF	SCHED.	SCHEDULE		
FT.	FOOT or FEET	S.D.	SOAP DISPENSER		
FTG.	FOOTING	SECT.	SECTION		
FUR.	FURRING	SHT.	SHEET		
GA.	GAUGE				
GALV.	GALVANIZED				
G.I.	GALVANIZED IRON				
G.B.	GRAB BAR				
GL.	GLASS				
GR.	GRADE				
GYP.	GYPSTUM				
GWB.	GYPSTUM WALLBOARD				

LEGEND

	EARTH
	ROCK
	SAND, MORTAR PLASTER
	MASONRY
	CONCRETE
	(E) STUD WALL
	(N) STUD WALL 2x4 @ 16" O.C. U.O.N.
	WALL w/ BATT INSULATION
	METAL
	WOOD, FINISH
	WOOD, FRAMING
	WOOD, BLOCKING
	GYPSTUM WALLBOARD
	RIGID INSULATION
	PLYWOOD
	ACOUSTIC TILE
	A.C. PAVING

PROJECT DATA

CUREANT CODES:
2013 CALIFORNIA BUILDING, MECHANICAL, PLUMBING, ENERGY AND ELECTRICAL CODES
2013 California Building Code, 2013 California Residential Code (where applicable), 2013 California Mechanical Code, 2013 California Electrical Code, and 2013 California Plumbing

BUILDING CONSTRUCTION TYPE: TYPE- VA (R-2,B), TYPE IA (S-2)
TYPE OF OCCUPANCY CLASSIFICATION: S-2/B/R-2
FIRE-SPRINKLERED EXISTING STORIES: YES TWO
A.P.N.: 029-111-260
EXISTING ZONING: R3
EXISTING LAND USE: MULTI-FAMILY
PROPOSED ZONING: MULTI-FAMILY
PROPOSED LAND USE: 21 CONDOMINIUM UNITS
TOTAL AREA: 15,107 SF (0.35 ACRES)
(5 STORIES) R-2/B AREA 29,070 SF
S-2 GARAGE UNLIMITED
HEIGHT: 55'
ACCESSIBLE PARKING: 35 STALLS
STREET PARKING: 2 STALLS
TOTAL PARKING: 37 STALLS
TYPE OF CONSTRUCTION: IIIB WITH 2 HOURS RATED EXTERIOR WALLS (FIRERETARDANT)

PROJECT TEAM

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ALLOWABLE AREA ANALYSIS

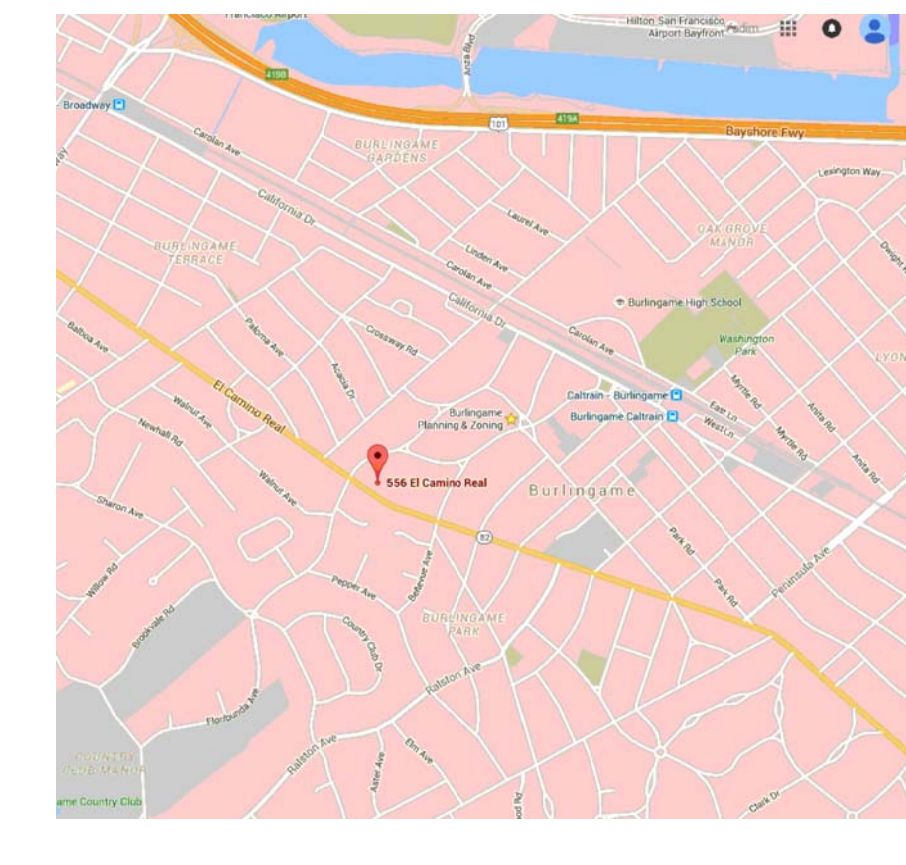
- Occupancy group: Residential units R-2, Parking garage S-2.
- Type of construction: Type IIIB with 2 hour rated exterior walls (fireretardant as per sec.602.3).
- Allowable area: 16,000X2 stories = 32,000 sf (without increase due to frontage)for R-2 occupancy.
Garage is type IA and unlimited.
- Proposed area: 29,070 sf
- Allowable height: 55 feet as per Table 503, 5 stories (4 stories permitted with 1 story increase due to sprinklers as per sec.504.2).
- Proposed height: 55 feet, 5 stories for R-2 occupancy. Garage S-2 is unlimited.
- Proposed fire separation distances: Not used, see item c above.
- Exterior wall and opening protection:
All exterior walls are 2 hour rated as per Table 601.
- Allowable opening protection: from 10 to less than 15 feet 45% unprotected openings in the wall and 15' to less than 20 feet 75% unprotected openings as per Table 705.8.

SCOPE OF WORK

NEW PROPOSED 21 UNITS

UTILITIES:
WATER SUPPLY: BURLINGAME WATER DEPARTMENT
FARE PROTECTION: CITY OF BURLINGAME
SEWAGE DISPOSAL: CITY OF BURLINGAME
STORM DRAIN: CITY OF MENLO PARK
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
CABLE TELEVISION: COMCAST

VICINITY MAP



"Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning Commission." The building owner, project designer, and/or contractor must submit a Revision to the City for any work not graphically illustrated on the Job Copy of the plans prior to performing the work.

- There are five access regulations that may apply to a multi-family residential project in California:
- The Architectural Barriers Act of 1969 (ABA)
 - Section 504 of the Rehabilitation Act of 1973
 - The Fair Housing Act (FHA)
 - The Americans with Disabilities Act (ADA)
 - The California Building Code (CBC), Chapters IIA and II B.

- ANY public money, of any kind, will or will not be used to construct this project
- On the first page of the plans clearly state if an application for ANY tax credits have or will be submitted for tax rebates.
NOTE: See the 2015 California Code of Regulations, Title IV, ?1 0325 (f)7 (K). In part:
"All tax credit recipient projects shall adhere to the provisions of California Building Code II (B) regarding Q accessibility to privately owned housing made available for public use."

**21 UNIT CONDOMINIUM 556 EL CAMINO REAL BURLINGAME, CA
 FOR ROMAN KNOP 261 17TH STREET SAN FRANCISCO, CA 94121
 PH: (415) 516-5180**

REVISION	BY
PLANNING	
09/07/2015	VMK
FIRE DIVISION	
11-09-2015	
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556 EL CAMINO REAL BURLINGAME, CA	
DATE	09/07/15
SCALE	AS SHOWN
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JOB	ROMAN
SHEET	A-0.1
OF	SHEETS

GENERAL NOTES

STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING, BUT NOT LIMITED TO:

- 2016 California Building Code
- 2016 California Residential Code
- 2016 California Mechanical Code
- 2016 California Plumbing Code
- 2016 California Electrical Code
- 2016 California Green Building Code (CalGreen)
- 2016 California Fire Code (with local amendments)
- 2015 International Property Maintenance Code
- 2016 State of California Title 24 Energy Regulations
- Burlingame Municipal Code (including local amendments to the above adopted codes and local green building requirements)

THE GENERAL CONTRACTOR SHALL CAREFULLY INSPECT ALL EXCAVATION WORK FOR COMPLIANCE TO REQUIREMENTS OF THE PREVAILING BUILDING CODE. SHOULD ANY CONDITIONS APPEAR QUESTIONABLE, SUCH AS, EXCESSIVE DAMPNESS, GRANULAR COMPOSITION, SLOUGHING, SOFTNESS OR OTHER DEFECTS, THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT.

ALL INFORMATION PERTAINING TO THE SITE SHALL BE THE OWNER'S RESPONSIBILITY. THIS INFORMATION SHALL INCLUDE: LEGAL DESCRIPTION, DEED RESTRICTIONS, EASEMENTS, SITE SURVEY, TOPOGRAPHIC SURVEY, POSITION OF EXISTING IMPROVEMENTS, SOILS REPORT, AND ALL RELATED DATA. THESE DOCUMENTS HAVE BEEN PREPARED ON THE INFORMATION PROVIDED TO THE ARCHITECT.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.

NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED BY THE ARCHITECTURAL DOCUMENTS, AND THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.

THE OWNER & CONTRACTOR AGREES TO INDEMNIFY, DEFEND, & HOLD THE ARCHITECT (VTK DESIGN GROUP), HARMLESS FROM AND AGAINST ANY AND ALL CLAIMS, LIABILITIES, SUITS, DEMANDS, LOSSES, COSTS, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES AND ALL LEGAL EXPENSES AND FEES INCURRED ON APPEAL, AND ALL INTEREST THEREON, ACCORDING OR RESULTING TO ANY AND ALL PERSONS, FIRMS, OR ANY OTHER LEGAL ENTITY ON ACCOUNT OF ANY DAMAGE TO PROPERTY OR PERSONS, INCLUDING DEATH, ARISING OUT OF THE PERFORMANCE OR NON-PERFORMANCE OF OBLIGATIONS UNDER THIS AGREEMENT, EXCEPT WHERE THE ARCHITECT IS FOUND TO BE SOLELY LIABLE FOR SUCH DAMAGES OR LOSSES BY A COURT OR FORUM OF COMPETENT JURISDICTION.

THE GENERAL CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT SUPPLIED BY THE OWNER OR OTHERS, WITH THE MANUFACTURER OR SUPPLIER, PRIOR TO THE START OF RELATED WORK.

DO NOT ACCUMULATE TRASH OR DEBRIS ON SITE. PROMPTLY REMOVE MATERIAL FROM SITE PER LOCAL ORDINANCE.

THESE DRAWINGS ARE, AND SHALL REMAIN, THE PROPERTY OF THE ARCHITECT. ANY USE OR REPRODUCTION IN WHOLE OR PART BY ANYONE WITHOUT PERMISSION OF THE ARCHITECT, SHALL BE STRICTLY FORBIDDEN.

ALL DIMENSIONS GIVEN ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE.

IT IS IMPORTANT THAT ALL DELIVERY TIME BE CHECKED AND HOLDS FILED AS REQUIRED TO MEET CONSTRUCTION SCHEDULE.

THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIALS AND/OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND/OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS.

CONTRACTOR TO SEAL ALL PENETRATIONS, (E.G. FROM PIPES, DRILLED HOLES, ETC.), BETWEEN FLOORS AND WALLS. SCRIBE ALL FINISH MILLWORK TO WALLS, PARTITIONS, AND CEILINGS. PROVIDE SCRIBE MOLDING AS REQUIRED TO FINISH ALL MILLWORK TO WALLS, PARTITIONS, AND CEILINGS.

SEAL ALL CONTROL JOINTS WHERE EXPOSED TO VIEW. SEALANT COLOR SHALL MATCH THE COLOR OF THE FINISH MATERIAL.

PROVIDE WOOD BLOCKING IN ALL STUD WALLS AT MILLWORK AND SPECIAL ITEM ANCHORING POINTS.

IT IS THE INTENT OF THE DRAWINGS THAT ALL EXPOSED SURFACES RECEIVE FINISHES AS INDICATED ON THE DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE COORDINATION OF THE COMPLETE FINISH-OUT OF THE PROJECT. ANY SURFACES WHICH DO NOT HAVE A SPECIFIC FINISH NOTED, NOR ARE NOTED TO REMAIN UNFINISHED, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND FINISHED PER THE

GYPSUM BOARD WALLS & CEILINGS SHALL HAVE A SMOOTH FINISH. PROVIDE USG DUROCK CEMENT BOARD AT ALL AREAS SUBJECT TO SATISFACTION OF FIRE CHIEF. PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICIAL AND FIRE DEPARTMENT PRIOR TO OCCUPANCY.

ALL GRADED SURFACES AND MATERIALS, WHETHER FILED, EXCAVATED, TRANSPORTED OR STOCKPILED, SHALL BE WETTED, PROTECTED OR CONTENTED IN SUCH A MANNER AS TO PREVENT ANY NUISANCE FROM DUST, OR SPILLAGE UPON ADJOINING PROPERTY OR STREETS. EQUIPMENT AND MATERIALS ON THE SITE SHOULD BE USED IN SUCH A MANNER AS TO AVOID EXCESSIVE DUST AND NOISE. ROADWAYS ON THE SITE SHALL BE UTILIZED TO PREVENT EXCESSIVE DUST. DIESEL OIL SHALL NOT BE UTILIZED TO LUBRICATE EQUIPMENT OR PARTS ON SITE.

THE APPLICANT SHALL COMPLY WITH ALL CONDITIONS SPECIFIED IN ORDINANCE 1056, TO SATISFACTION OF FIRE CHIEF, PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICIAL AND POLICE CHIEF, AS APPLICABLE.

ALL CONDITIONS OF APPROVAL SHALL BE POSTED AT THE JOB SITE IN FULL PUBLIC VIEW. CONDITIONS SHALL BE PLACED IN A WEATHER-PROOF COVER, AND SHOULD INCLUDE THE TELEPHONE NUMBER OF THE DEVELOPER.

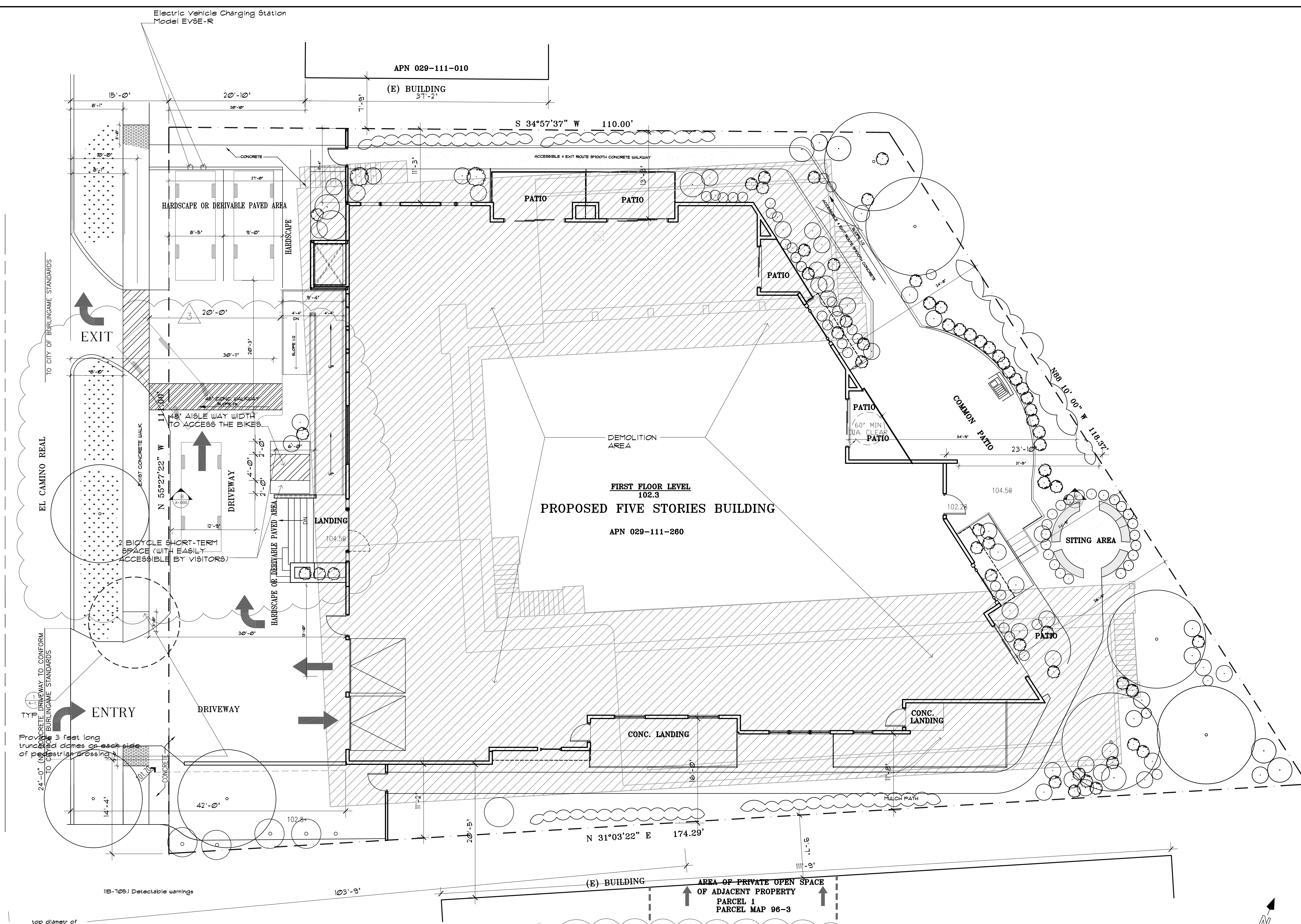
A FIRE SPRINKLER SYSTEM FOR THE ENTIRE HOUSE SHALL BE DESIGNED AND INSTALLED ACCORDING TO ALL FIRE CODES AND ORDINANCES BY A LICENSED FIRE SPRINKLER CONTRACTOR. A COPY OF THE FIRE SPRINKLER SYSTEM DESIGN PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT.

SITE NOTES

PROVIDE ADEQUATE MEANS FOR COLLECTING AND DIRECTING SUB-SURFACE WATERS TO THE STREET GUTTER, STORM DRAIN, OR OTHER APPROVED DRAIN. STORM DRAINAGE SHALL BE DESIGNED TO DRAIN TOWARDS THE STREET FRONTAGE OR TO THE CITY STORM DRAIN SYSTEM.

THE SERVICE COMPANIES PROVIDING NATURAL GAS, ELECTRICITY, WATER, CABLE, AND TELEPHONE SERVICE SHALL BE CONSULTED ON THE LOCATION AND SCHEDULING OF THIS WORK. THE SERVICE ENTRANCE AND THE METER LOCATION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO THEIR INSTALLATION.

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE STANDARDS. MAXIMUM FENCE HEIGHT SHALL NOT EXCEED 3 FEET IN THE FRONT YARD AND 6 FEET MAX. IN THE SIDE AND REAR YARD.



SITE PLAN - DEMOLITION PLAN

SCALE 1/8" = 1'-0"

Construction Hours
 Weekdays: 7:00 a.m. - 7:00 p.m.
 Saturdays: 9:00 a.m. - 6:00 p.m.
 Sundays and Holidays: 10:00 a.m. - 6:00 p.m.
 (See City of Burlingame Municipal Code, Section 13.04.100 for details.)
 Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00 p.m.
 Note: Construction hours for work in the public right of way must now be included on the plans.

OSHA permit will be obtained for the shoring* at the excavation in the basement per CAL I OSHA requirements.
 Grading Permit, if required, will be obtained from the Department of Public Works.

NOTE: A condition of this project approval is that the Demolition Permit will not be issued and, and no work can begin (including the removal of any building components), until a Building Permit has been issued for the project. The property owner is responsible for assuring that no work is authorized or performed.

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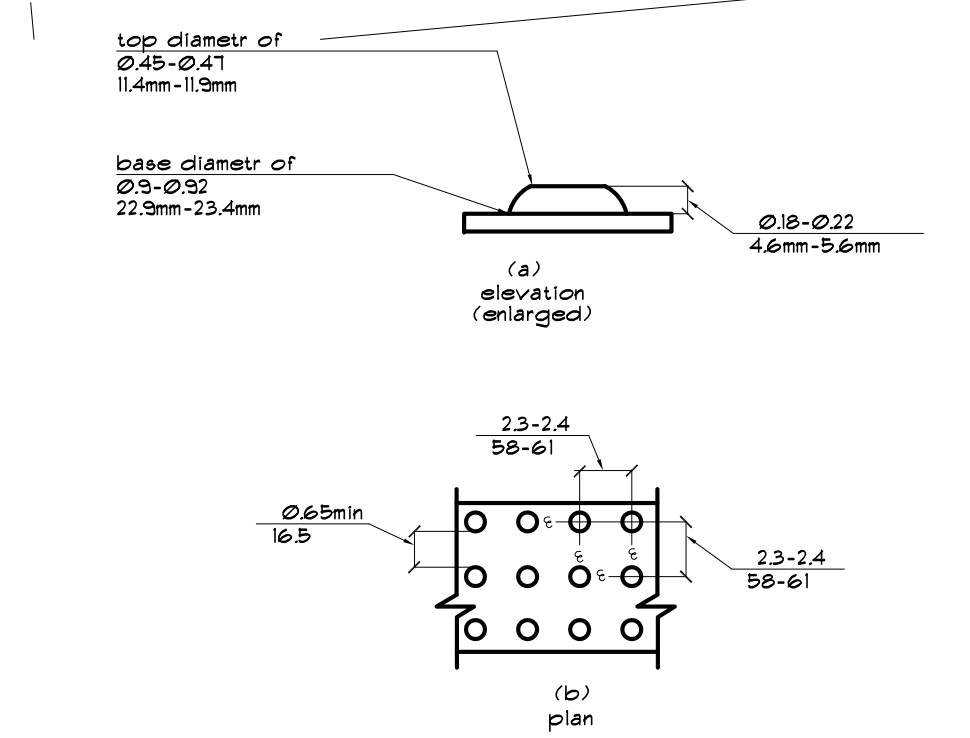
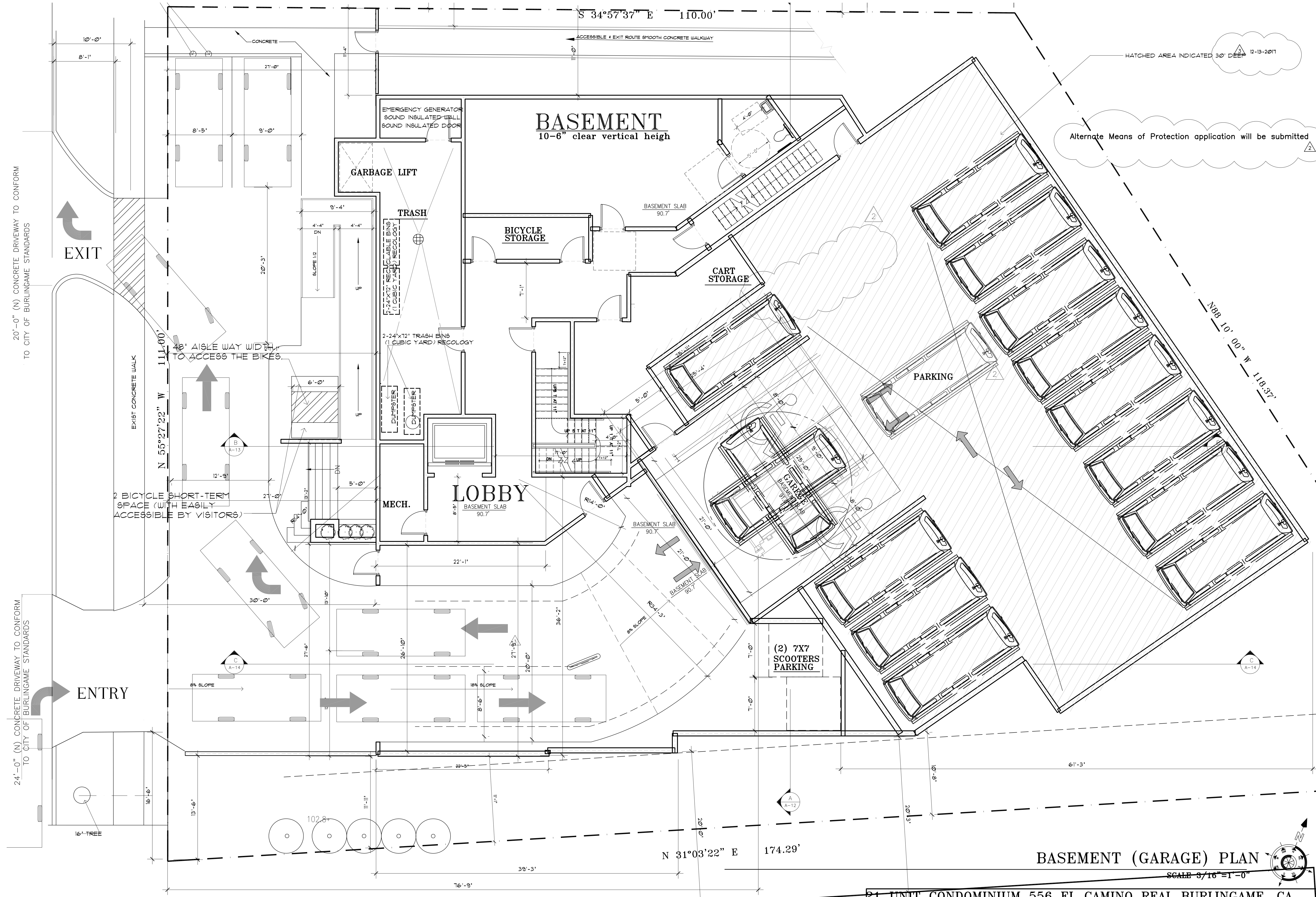


FIGURE 1B-105.1
 SIZE AND SPACING OF TRUNCATED DOMES
 TITLE
 N.T.S.

REVISION	BY
09-01-2015	VTK
09-01-2016	VTK
FIRE DIVISION	
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OF	SHEETS



BASEMENT
10'-6" clear vertical height

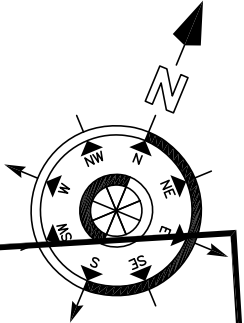
LOBBY
BASEMENT SLAB 90.7

PARKING

(2) 7X7
SCOOTERS
PARKING

BASEMENT (GARAGE) PLAN

SCALE 3/16" = 1'-0"



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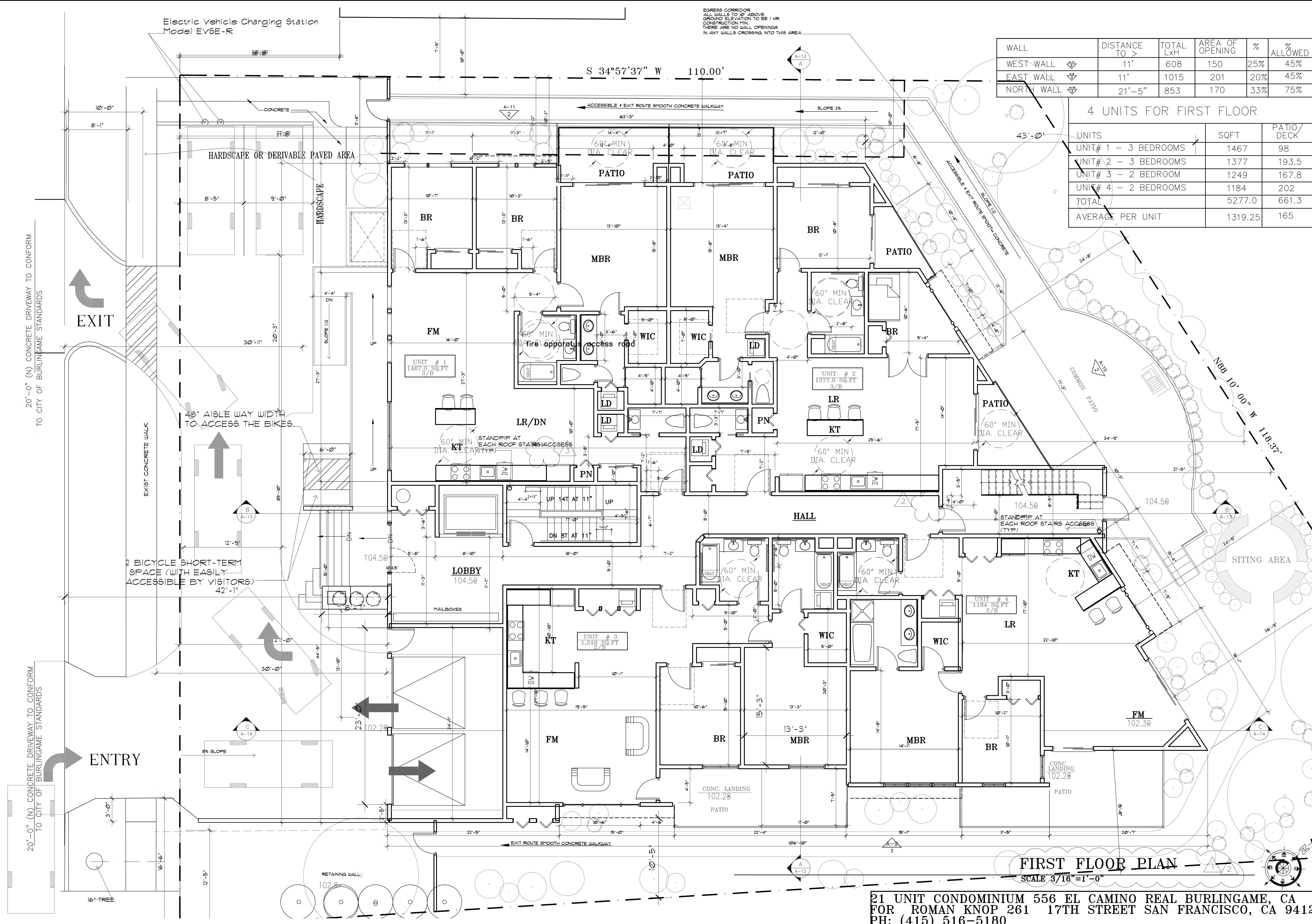
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11-09-2015	

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556 EL CAMINO REAL
BURLINGAME, CA

DATE	02/07/17
SCALE	3/16" = 1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-1.1
OF	SHEETS



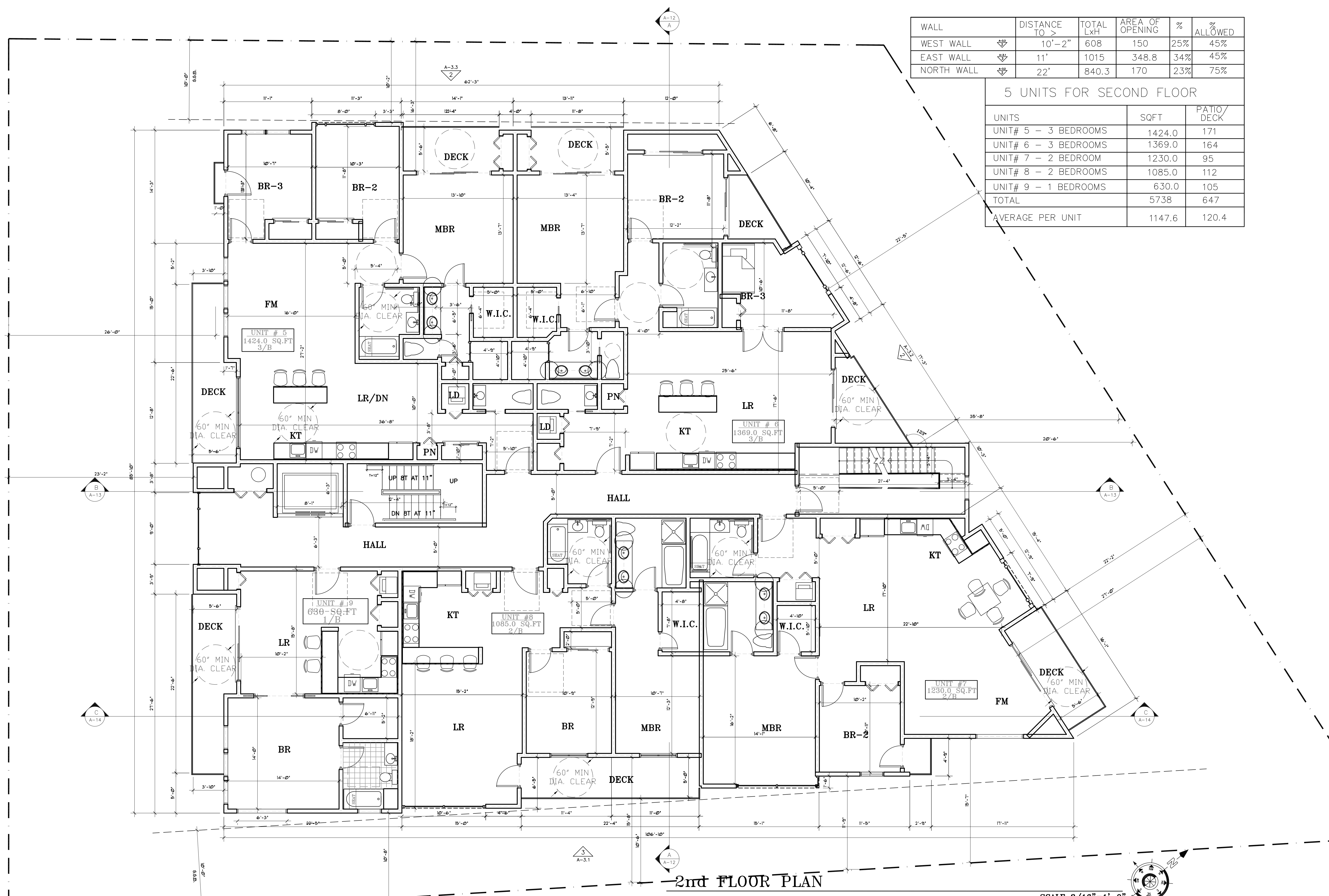
WALL	DISTANCE TO >	TOTAL LxH	AREA OF OPENING	%	% ALLOWED
WEST WALL	11'	608	150	25%	45%
EAST WALL	11'	1015	201	20%	45%
NORTH WALL	21'-5"	853	170	33%	75%

4 UNITS FOR FIRST FLOOR		
UNITS	SQFT	PATIO/DECK
UNIT# 1 - 3 BEDROOMS	1467	98
UNIT# 2 - 3 BEDROOMS	1377	193.5
UNIT# 3 - 2 BEDROOM	1249	167.8
UNIT# 4 - 2 BEDROOMS	1184	202
TOTAL	5277.0	661.3
AVERAGE PER UNIT	1319.25	165

FIRST FLOOR PLAN
SCALE 3/16"=1'-0"

21 UNIT CONDOMINIUM 556 EL CAMINO REAL BURLINGAME, CA
FOR ROMAN KNOP 261 17TH STREET SAN FRANCISCO, CA 94121
PH: (415) 516-5180

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556 EL CAMINO REAL BURLINGAME, CA	
DATE	09/01/15
SCALE	1/8"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-1.2
OF	SHEETS



WALL	DISTANCE TO >	TOTAL LxH	AREA OF OPENING	%	% ALLOWED
WEST WALL	10'-2"	608	150	25%	45%
EAST WALL	11'	1015	348.8	34%	45%
NORTH WALL	22'	840.3	170	23%	75%

5 UNITS FOR SECOND FLOOR

UNITS	SQFT	PATIO/DECK
UNIT# 5 - 3 BEDROOMS	1424.0	171
UNIT# 6 - 3 BEDROOMS	1369.0	164
UNIT# 7 - 2 BEDROOM	1230.0	95
UNIT# 8 - 2 BEDROOMS	1085.0	112
UNIT# 9 - 1 BEDROOMS	630.0	105
TOTAL	5738	647
AVERAGE PER UNIT	1147.6	120.4

2nd FLOOR PLAN

SCALE 3/16"=1'-0"

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 FOR ROMAN KNOP 261 17TH STREET SAN FRANCISCO, CA 94121
 PH: (415) 516-5180

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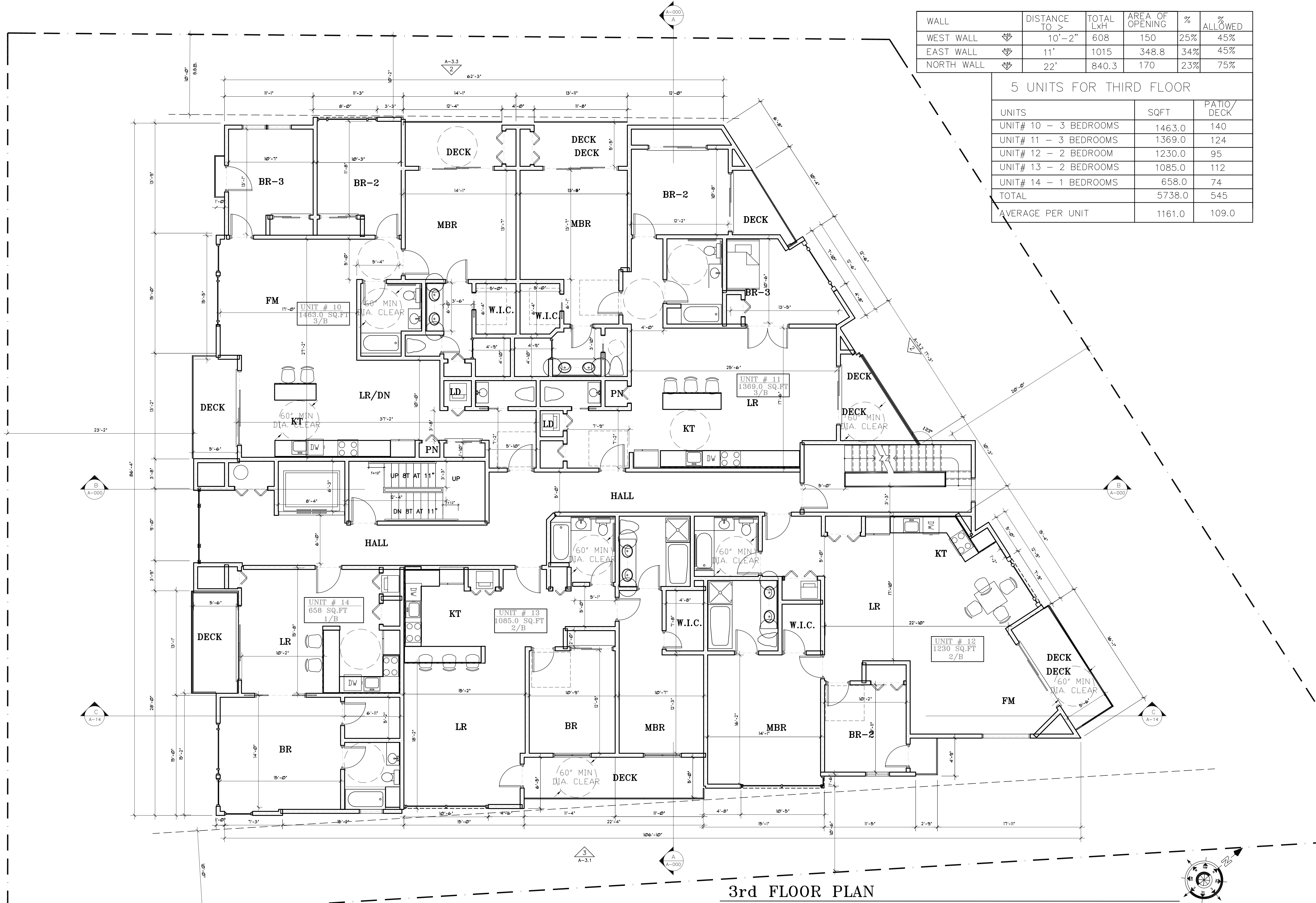
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556 EL CAMINO REAL
 BURLINGAME, CA

DATE	03/09/11
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-1.3
OF	SHEETS

WALL	DISTANCE TO >	TOTAL LxH	AREA OF OPENING	%	% ALLOWED
WEST WALL	10'-2"	608	150	25%	45%
EAST WALL	11'	1015	348.8	34%	45%
NORTH WALL	22'	840.3	170	23%	75%

5 UNITS FOR THIRD FLOOR		
UNITS	SQFT	PATIO/DECK
UNIT# 10 - 3 BEDROOMS	1463.0	140
UNIT# 11 - 3 BEDROOMS	1369.0	124
UNIT# 12 - 2 BEDROOM	1230.0	95
UNIT# 13 - 2 BEDROOMS	1085.0	112
UNIT# 14 - 1 BEDROOMS	658.0	74
TOTAL	5738.0	545
AVERAGE PER UNIT	1161.0	109.0



3rd FLOOR PLAN

SCALE 3/16"=1'-0"

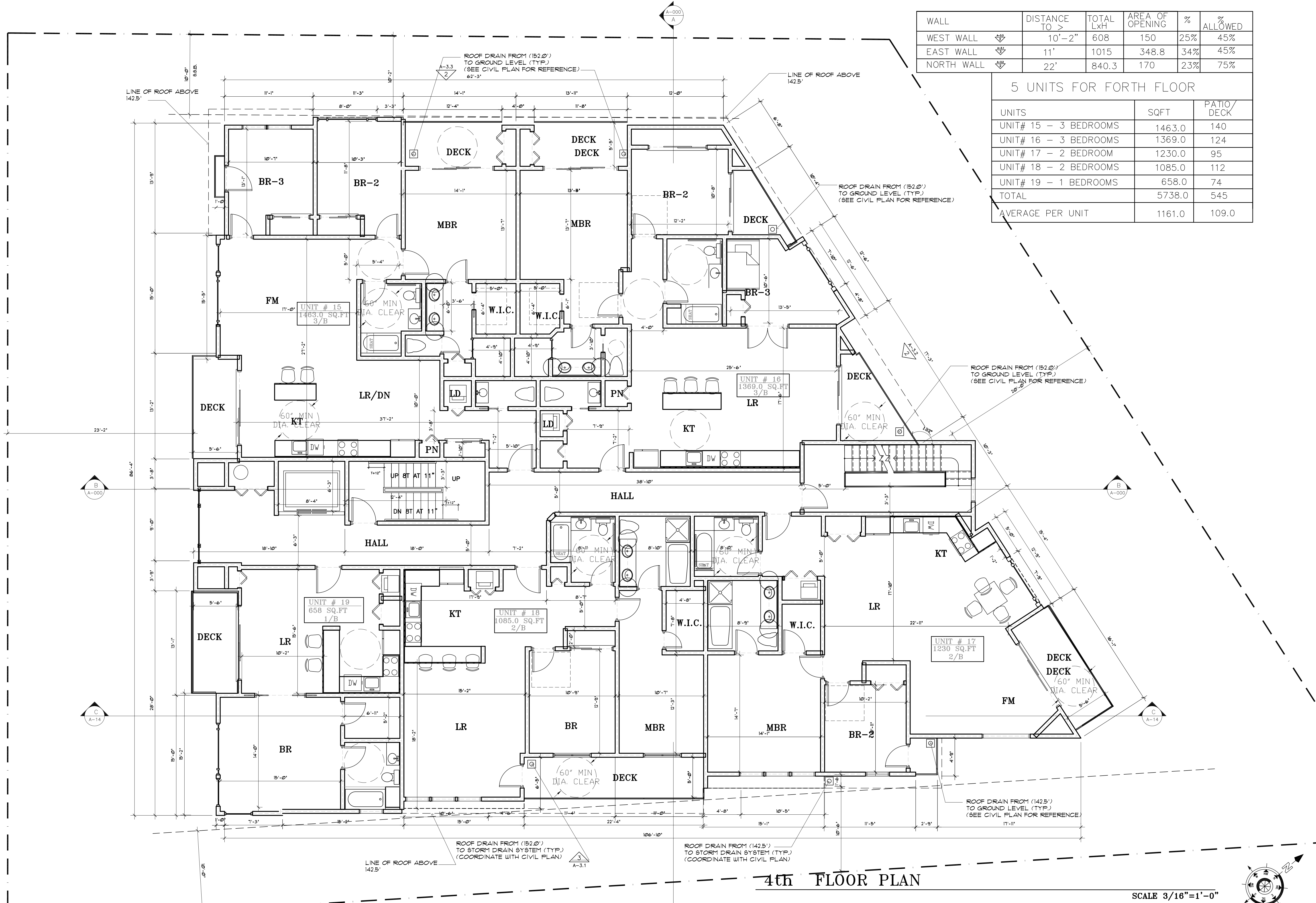
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<p>556 EL CAMINO REAL BURLINGAME, CA</p>	
DATE	03/09/11
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-1.4
OF	SHEETS

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WALL	DISTANCE TO >	TOTAL LxH	AREA OF OPENING	%	% ALLOWED
WEST WALL	10'-2"	608	150	25%	45%
EAST WALL	11'	1015	348.8	34%	45%
NORTH WALL	22'	840.3	170	23%	75%

5 UNITS FOR FORTH FLOOR		
UNITS	SQFT	PATIO/DECK
UNIT# 15 - 3 BEDROOMS	1463.0	140
UNIT# 16 - 3 BEDROOMS	1369.0	124
UNIT# 17 - 2 BEDROOM	1230.0	95
UNIT# 18 - 2 BEDROOMS	1085.0	112
UNIT# 19 - 1 BEDROOMS	658.0	74
TOTAL	5738.0	545
AVERAGE PER UNIT	1161.0	109.0



4th FLOOR PLAN

SCALE 3/16"=1'-0"

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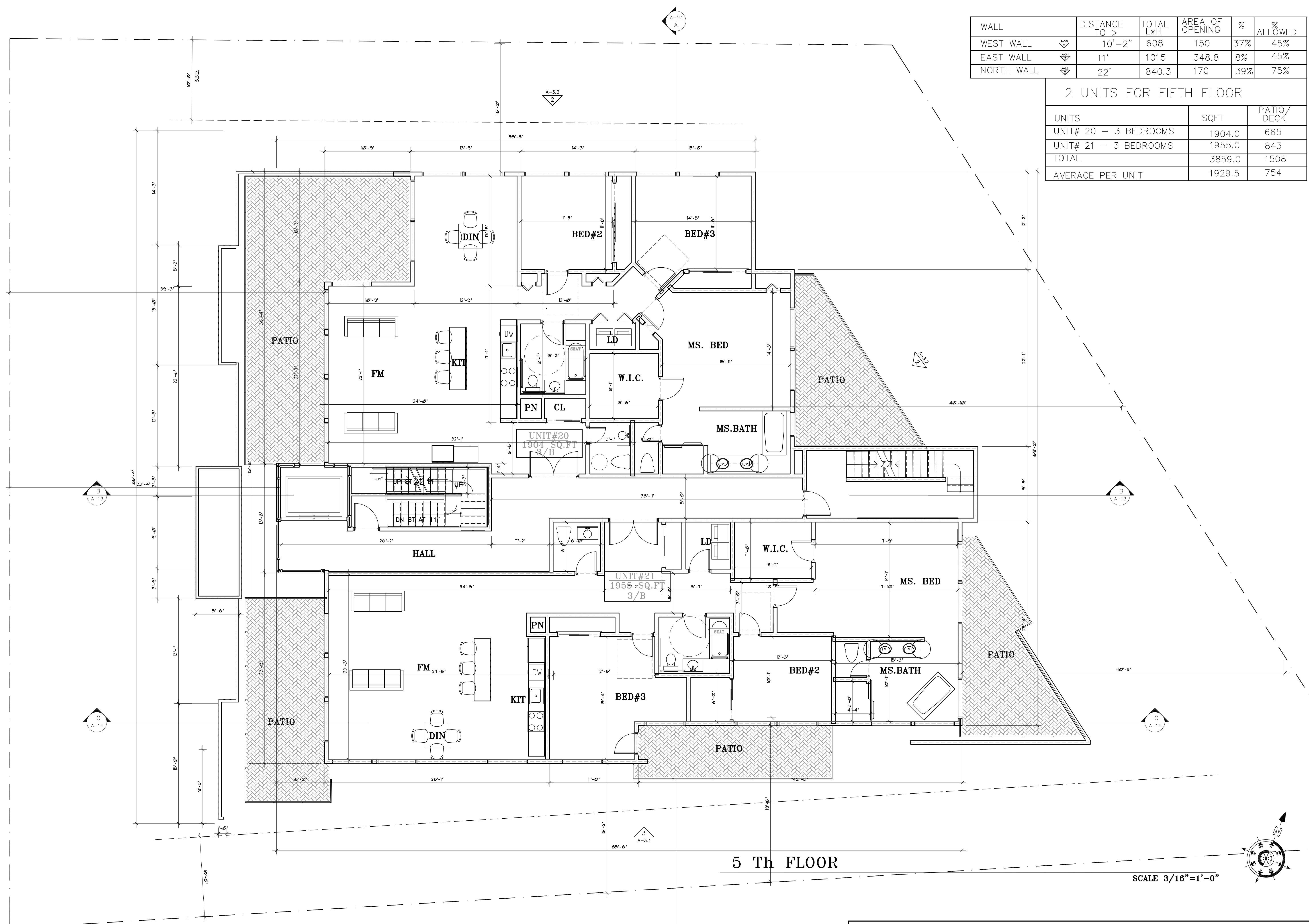
556 EL CAMINO REAL
 BURLINGAME, CA

DATE	02/07/11
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-1.5
OF	SHEETS

WALL	DISTANCE TO >	TOTAL LxH	AREA OF OPENING	%	% ALLOWED
WEST WALL	10'-2"	608	150	37%	45%
EAST WALL	11'	1015	348.8	8%	45%
NORTH WALL	22'	840.3	170	39%	75%

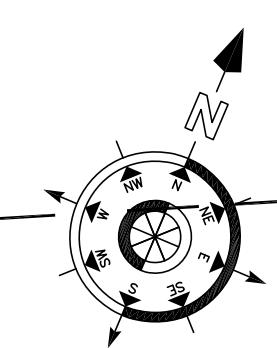
2 UNITS FOR FIFTH FLOOR

UNITS	SQFT	PATIO/DECK
UNIT# 20 - 3 BEDROOMS	1904.0	665
UNIT# 21 - 3 BEDROOMS	1955.0	843
TOTAL	3859.0	1508
AVERAGE PER UNIT	1929.5	754



5 Th FLOOR

SCALE 3/16"=1'-0"



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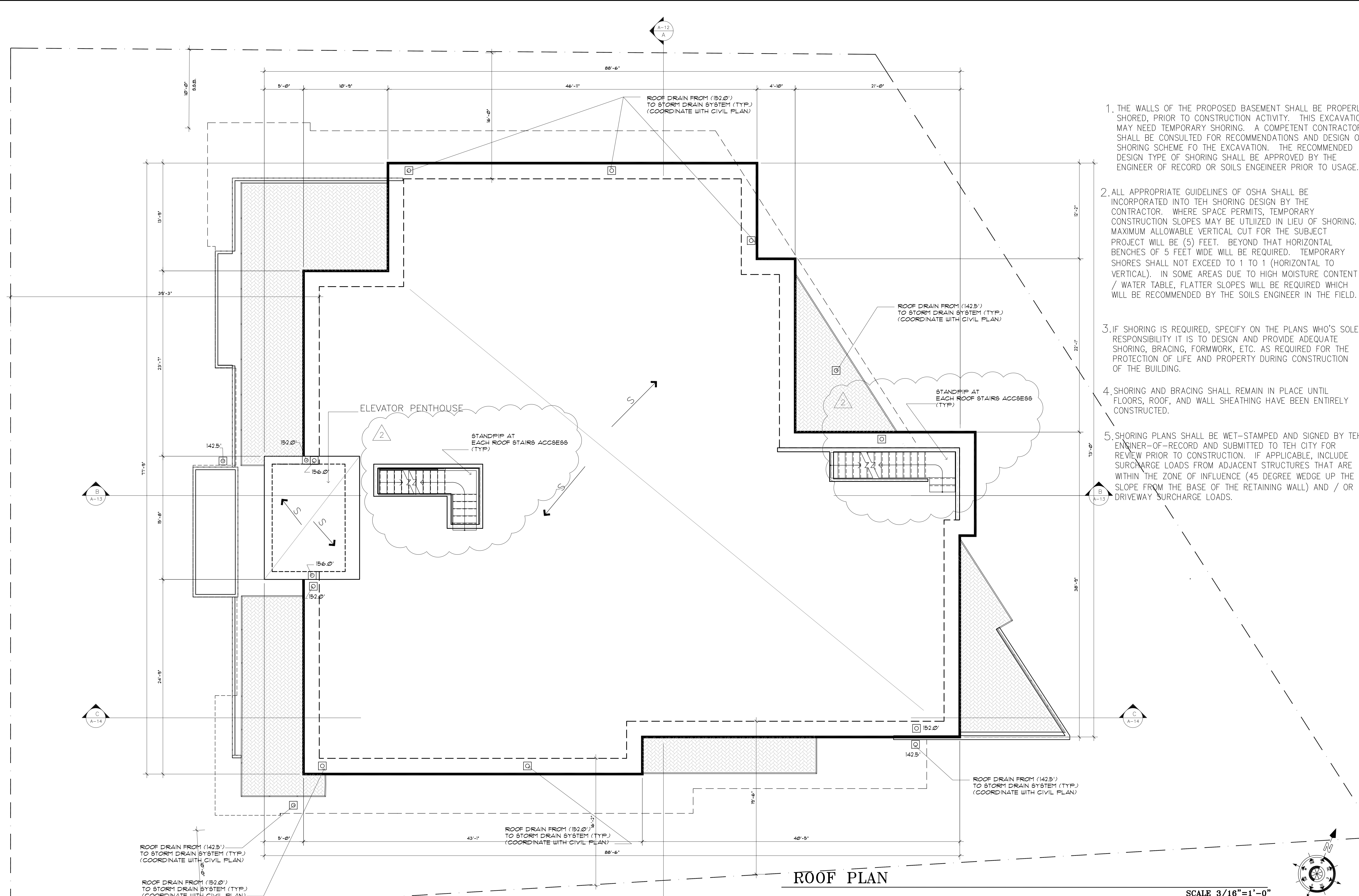
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 BURLINGAME, CA

DATE	02/07/11
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-1.6
OF SHEETS	



1. THE WALLS OF THE PROPOSED BASEMENT SHALL BE PROPERLY SHORED, PRIOR TO CONSTRUCTION ACTIVITY. THIS EXCAVATION MAY NEED TEMPORARY SHORING. A COMPETENT CONTRACTOR SHALL BE CONSULTED FOR RECOMMENDATIONS AND DESIGN OF SHORING SCHEME FOR THE EXCAVATION. THE RECOMMENDED DESIGN TYPE OF SHORING SHALL BE APPROVED BY THE ENGINEER OF RECORD OR SOILS ENGINEER PRIOR TO USAGE.
2. ALL APPROPRIATE GUIDELINES OF OSHA SHALL BE INCORPORATED INTO THE SHORING DESIGN BY THE CONTRACTOR. WHERE SPACE PERMITS, TEMPORARY CONSTRUCTION SLOPES MAY BE UTILIZED IN LIEU OF SHORING. MAXIMUM ALLOWABLE VERTICAL CUT FOR THE SUBJECT PROJECT WILL BE (5) FEET. BEYOND THAT HORIZONTAL BENCHES OF 5 FEET WIDE WILL BE REQUIRED. TEMPORARY SHORES SHALL NOT EXCEED TO 1 TO 1 (HORIZONTAL TO VERTICAL). IN SOME AREAS DUE TO HIGH MOISTURE CONTENT / WATER TABLE, FLATTER SLOPES WILL BE REQUIRED WHICH WILL BE RECOMMENDED BY THE SOILS ENGINEER IN THE FIELD.
3. IF SHORING IS REQUIRED, SPECIFY ON THE PLANS WHO'S SOLE RESPONSIBILITY IT IS TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF THE BUILDING.
4. SHORING AND BRACING SHALL REMAIN IN PLACE UNTIL FLOORS, ROOF, AND WALL SHEATHING HAVE BEEN ENTIRELY CONSTRUCTED.
5. SHORING PLANS SHALL BE WET-STAMPED AND SIGNED BY THE ENGINEER-OF-RECORD AND SUBMITTED TO THE CITY FOR REVIEW PRIOR TO CONSTRUCTION. IF APPLICABLE, INCLUDE SURCHARGE LOADS FROM ADJACENT STRUCTURES THAT ARE WITHIN THE ZONE OF INFLUENCE (45 DEGREE WEDGE UP THE SLOPE FROM THE BASE OF THE RETAINING WALL) AND / OR DRIVEWAY SURCHARGE LOADS.

<p>REVISION</p> <p>09-01-2015</p> <hr/> <p>FIRE DIVISION</p> <p>11-03-2015</p> <hr/> <p>V M K DESIGN GROUP VADIM MEIK-KARAOV CONCEPTUAL DESIGN, PLANNING, INTERIOR WWW.VMKDESIGNGROUP.COM Ph: 408.554.6110 Fax: 408.516.9490 3777 STEVENS CREEK BLVD. SUITE 420 SANTA CLARA CA 95051</p>	<p>BY</p> <p>VTK</p> <hr/> <p>NEW IMAGE DESIGN ENGINEERING & PLANNING Registered Engineer Lic. #35441 2208 Vizcaya Cir. Campbell, CA Tel. (408) 879-8599 E-mail: nidesign@yahoo.com</p>
<p>556 EL CAMINO REAL BURLINGAME, CA</p>	<p>DATE: 02/07/11 SCALE: 3/16"=1'-0" DRAWN: VTK JOB: ROMAN SHEET: A-1.7 OF SHEETS: 1</p>

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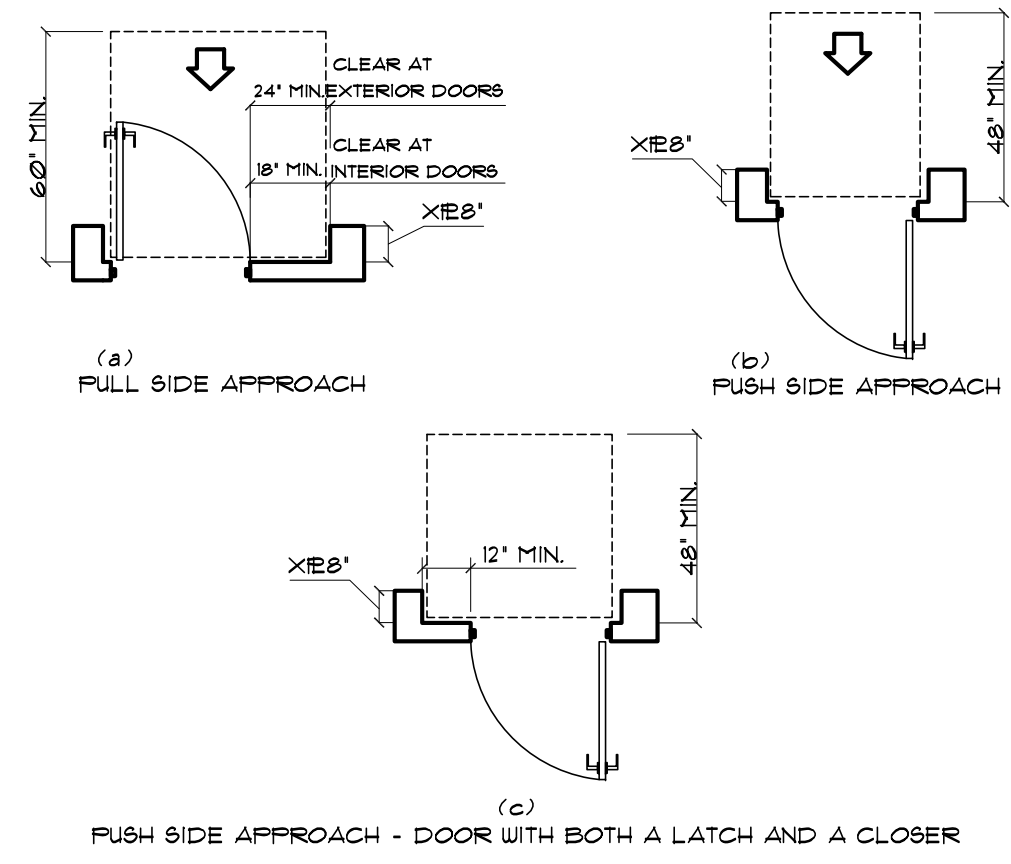


FIGURE 11A-8C

1 MANEUVERING CLEARANCES AT RECESSED DOORS

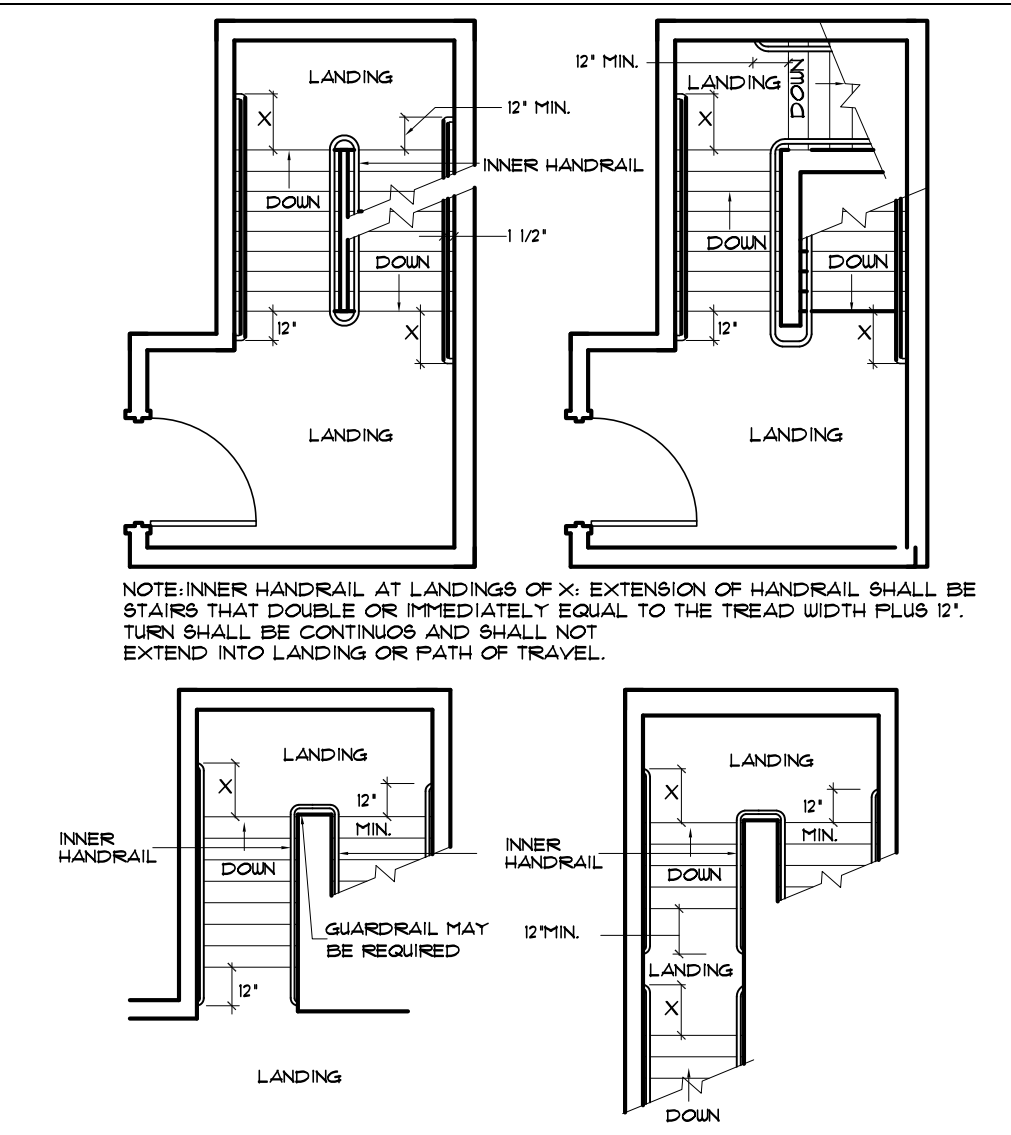
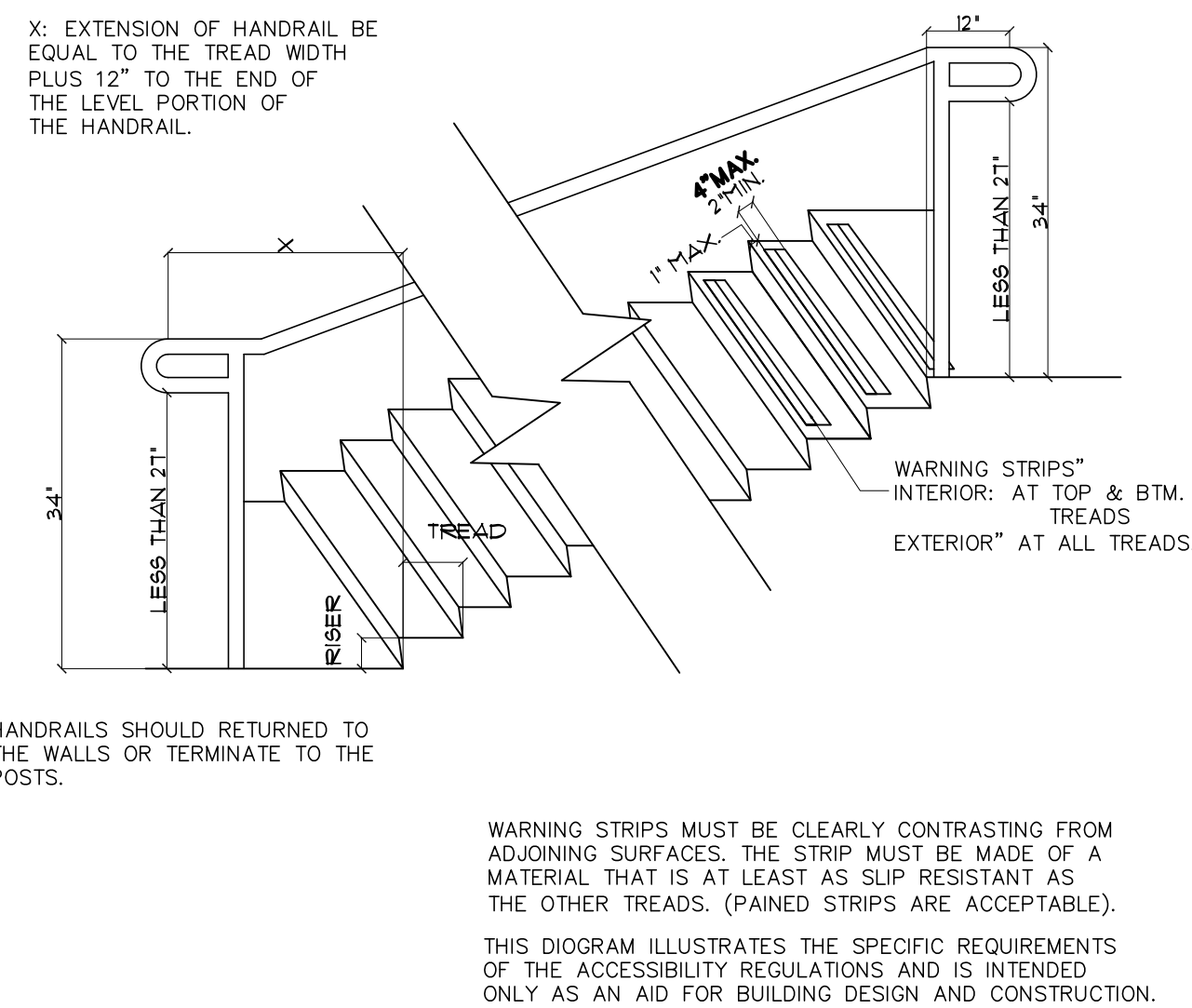


FIGURE 11A-6E

3 STAIR HANDRAILS EXTENTIONS



WARNING STRIPS MUST BE CLEARLY CONTRASTING FROM ADJOINING SURFACES. THE STRIP MUST BE MADE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS. (PAINTED STRIPS ARE ACCEPTABLE). THIS DIAGRAM ILLUSTRATES THE SPECIFIC REQUIREMENTS OF THE ACCESSIBILITY REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

5 STAIR STRIPING & HANDRAILS

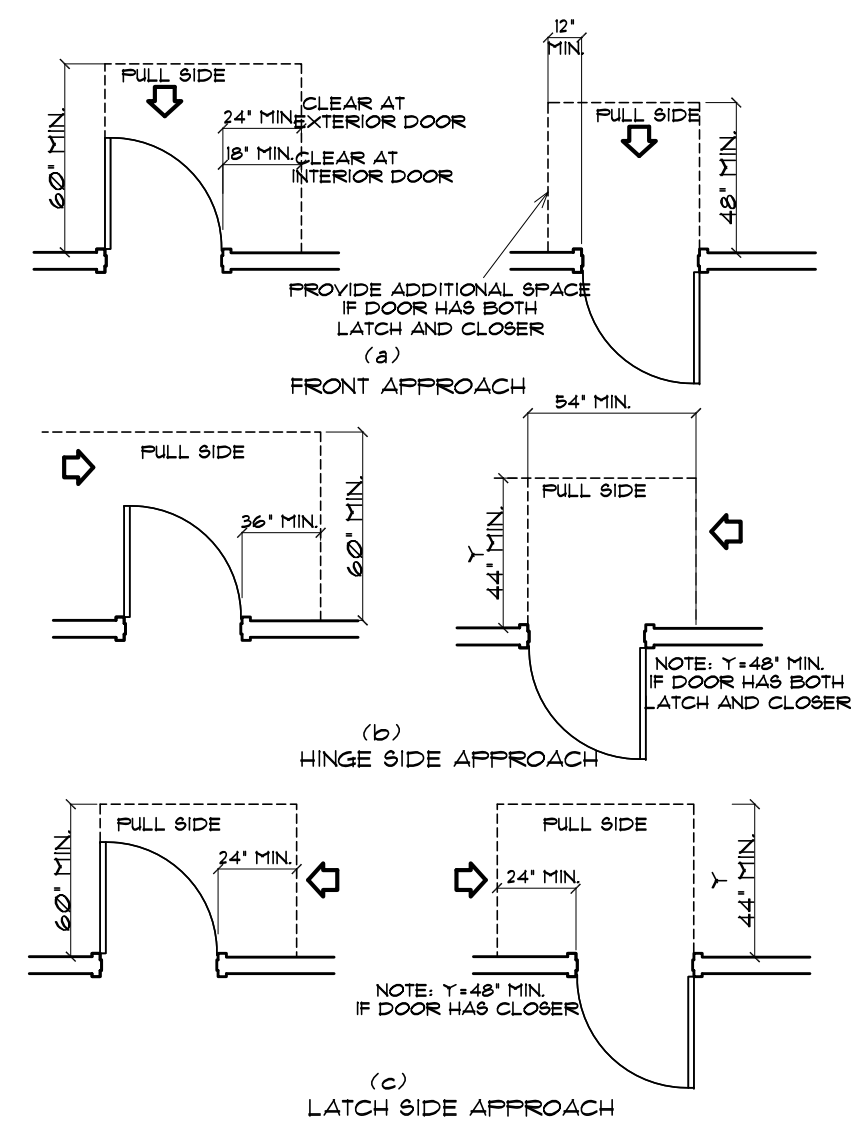
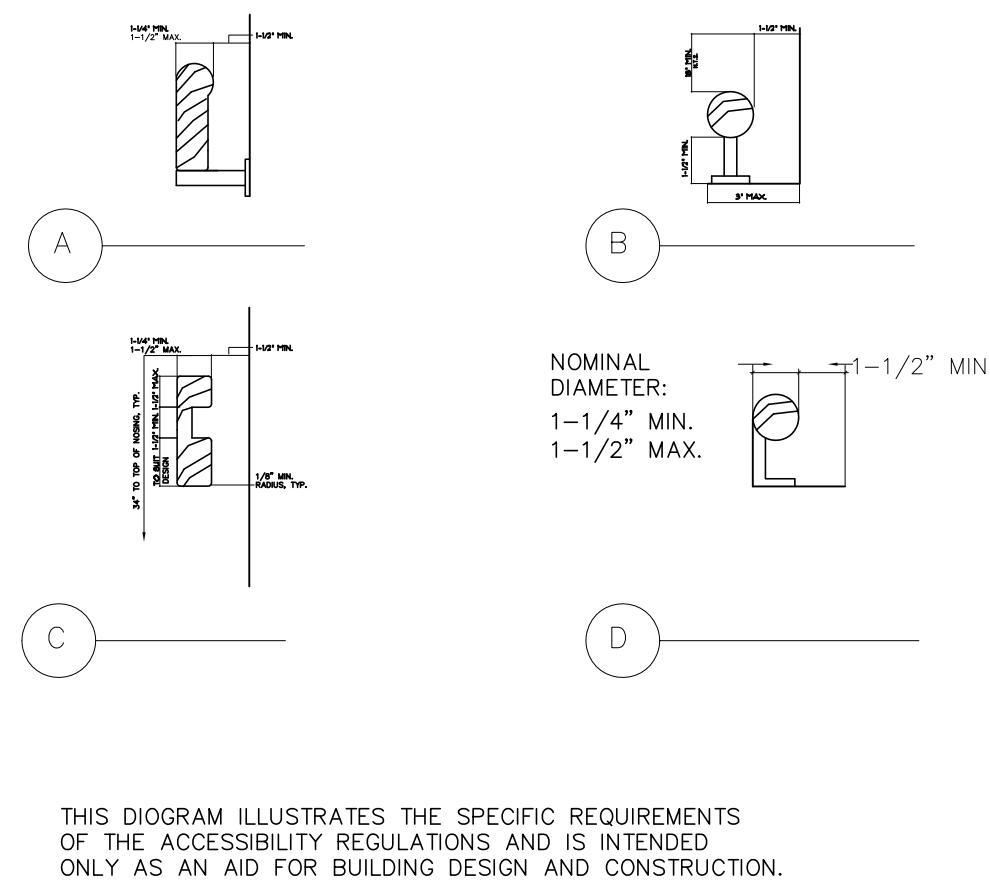


FIGURE 11A-8A

2 MANEUVERING CLEARANCE AT SWINGING DOORS



THIS DIAGRAM ILLUSTRATES THE SPECIFIC REQUIREMENTS OF THE ACCESSIBILITY REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

4 STAIR HANDRAILS

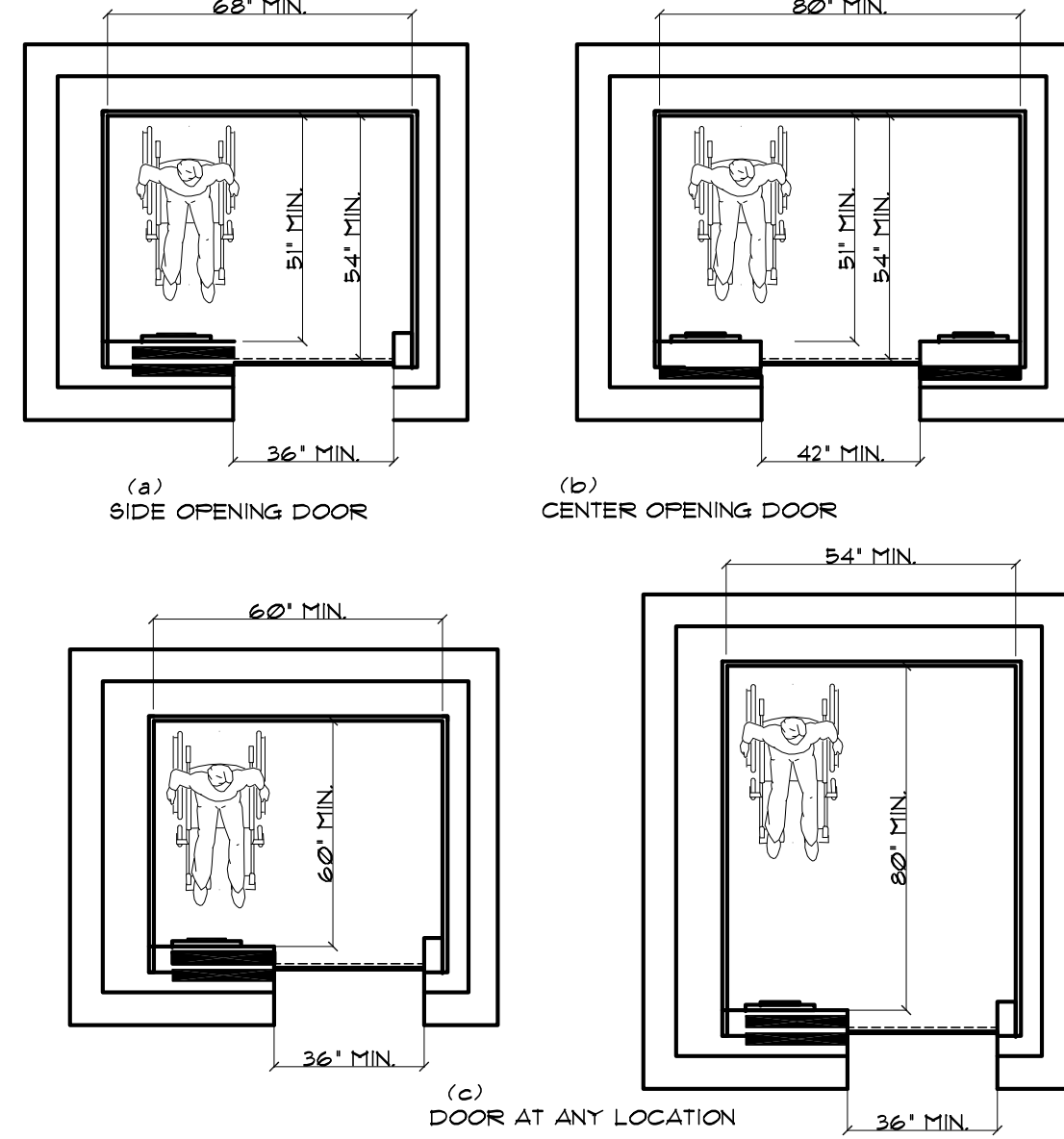


FIGURE 11A-9D

9 MINIMUM DIMENSIONS AT ELEVATOR CARS

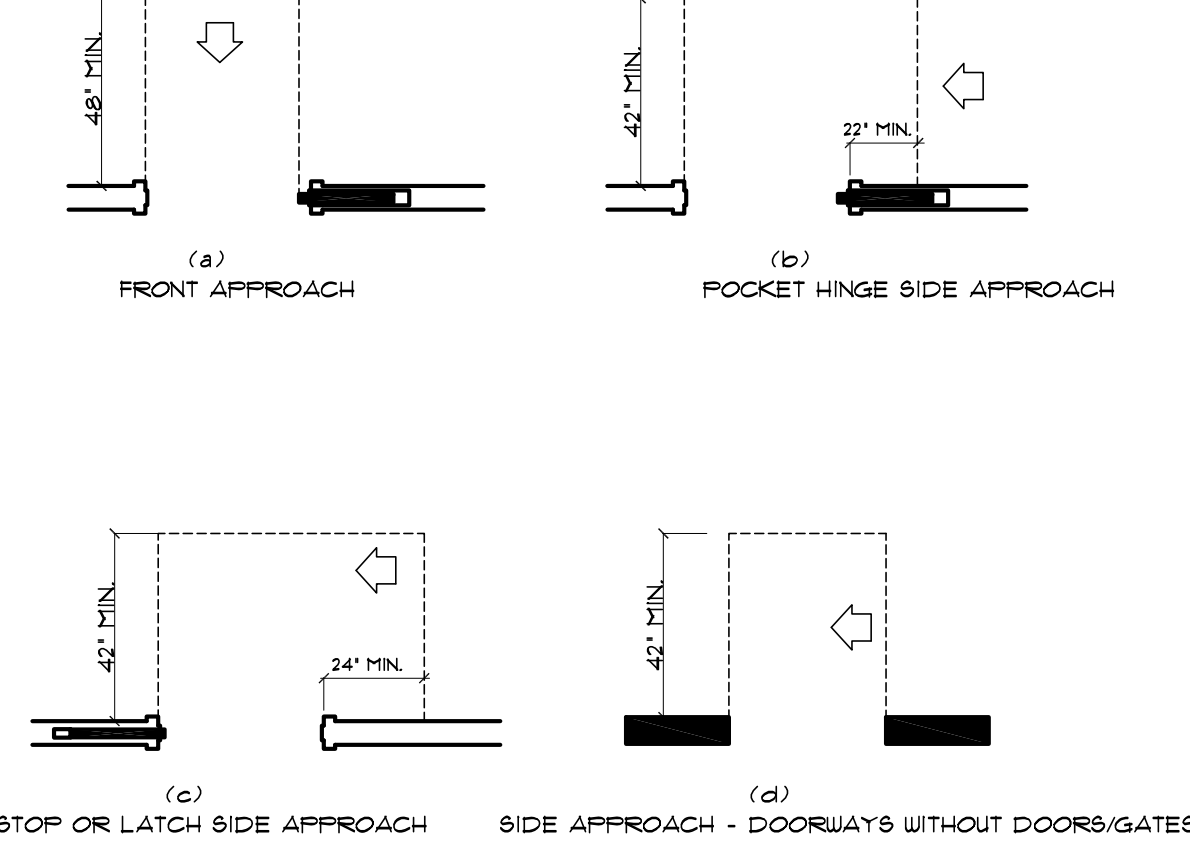


FIGURE 11A-8G

11 MANEUVERING CLEARANCE AT DOORWAYS, SLIDING DOORS, AND FOLDING DOORS

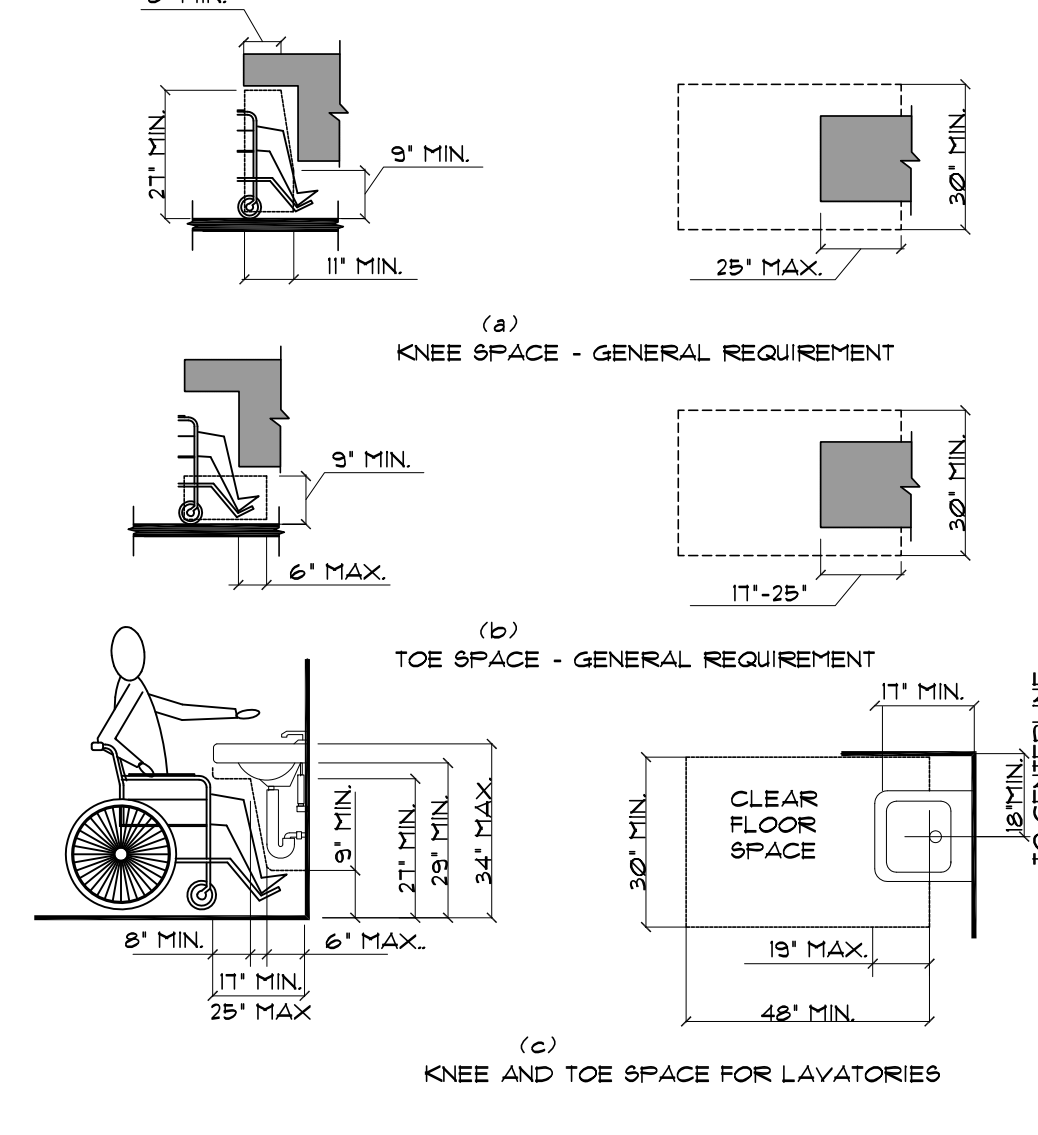


FIGURE 11A-9D

10 KNEE AND TOE SPACE

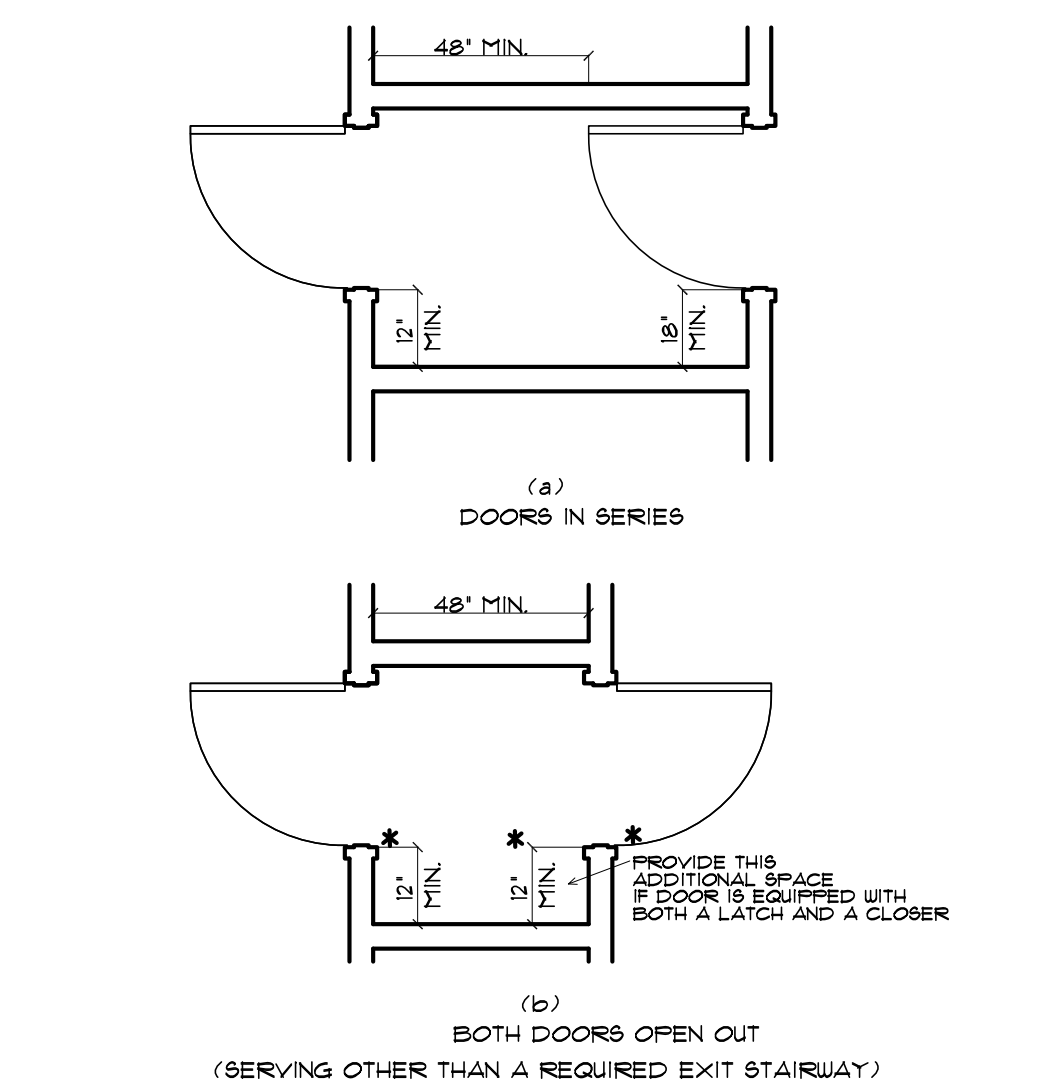
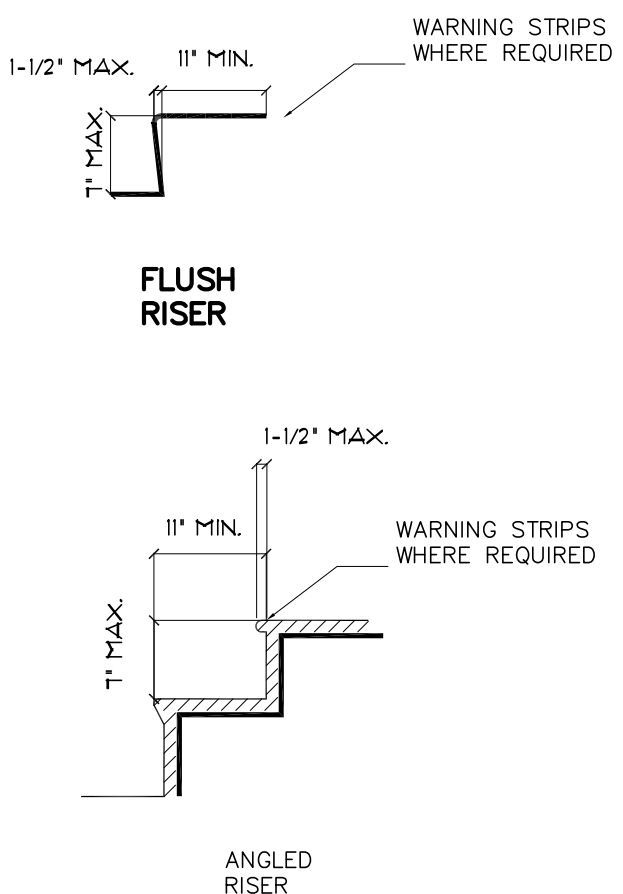


FIGURE 11A-9D

12 VESTIBULE



THIS DIAGRAM ILLUSTRATES THE SPECIFIC REQUIREMENTS OF THE ACCESSIBILITY REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

8 STAIR NOSING

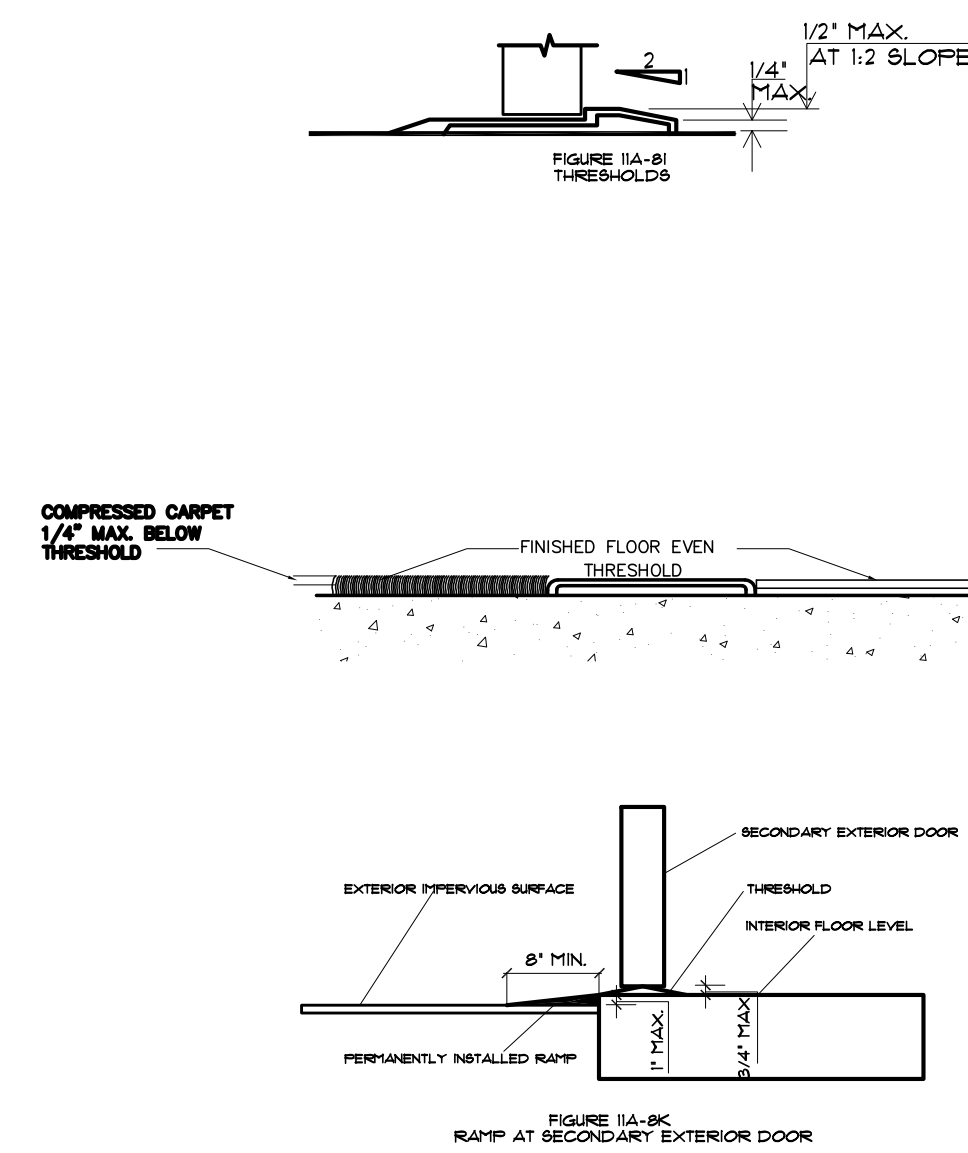
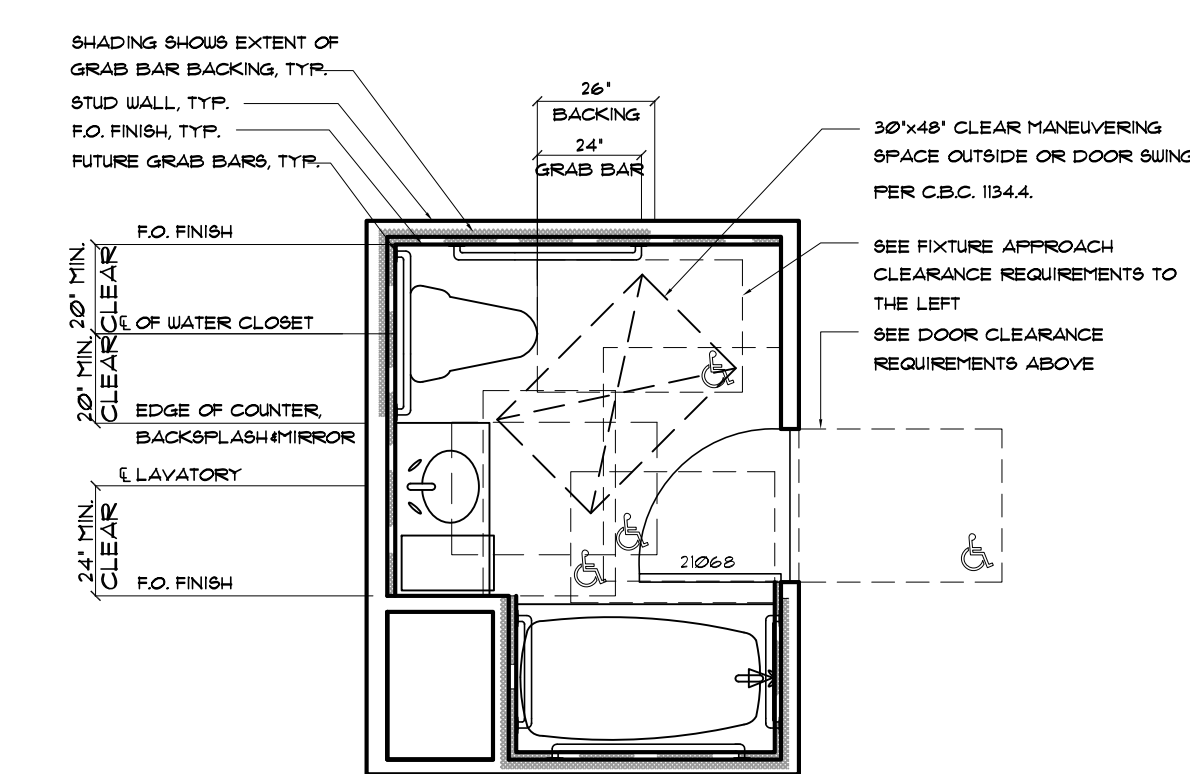


FIGURE 11A-8I

13 RAMP AT SECONDARY EXTERIOR DOOR



MINIMUM ACCESSIBLE BATHROOM

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<p>556 EL CAMINO REAL BURLINGAME, CA</p>	
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SCALE	N.T.S.
DRAWN	VTK
JOB	ROMAN
SHEET	A-2.0
OF	SHEETS

CONTRACTOR SHALL HAVE A COPY OF THE MOST CURRENT C.B.C. TO REFERENCE AS NEEDED. THIS SHEET ILLUSTRATES MINIMUM CODE-REQUIREMENTS AND IS FOR REFERENCE ONLY. REFER TO PROJECT DRAWINGS AND SPECIFICATIONS FOR EXECUTION OF THESE REQUIREMENTS. CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY INSTANCES WHERE ARCHITECTURAL PLANS ARE IN CONFLICT WITH THE REQUIREMENTS HEREIN.

ACCESSIBLE ROUTE:

1. ACCESSIBLE ROUTE IS DEFINED AS A CONTINUOUS AND UNOBSTRUCTED PATH CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES IN A BUILDING OR WITHIN A SITE THAT CAN BE NEGOTIATED BY A PERSON WITH A DISABILITY USING A WHEELCHAIR, AND THAT IS ALSO SAFE FOR AND USABLE BY PERSONS WITH OTHER DISABILITIES. INTERIOR ACCESSIBLE ROUTES MAY INCLUDE CORRIDORS, HALLWAYS, FLOORS, RAMPS, ELEVATORS AND LIFTS. EXTERIOR ACCESSIBLE ROUTES MAY INCLUDE PARKING ACCESS AISLES, CURB RAMPS, CROSSWALKS AT VEHICULAR WAYS, WALKS, RAMPS AND LIFTS.

HAZARDS AND PROTRUDING OBJECTS:

- ABRUPT CHANGES IN LEVEL, EXCEPT BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY, EXCEEDING 4" IN A VERTICAL DIMENSION, SUCH AS AT PLANTERS OR FOUNTAINS LOCATED IN OR ADJACENT TO WALKS, SIDEWALKS, OR OTHER PEDESTRIAN WAYS SHALL BE IDENTIFIED BY CURBS PROJECTING A LEAST 6" IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE TO WARN THE BLIND OF A POTENTIAL DROP-OFF.
- WHEN A GUARDRAIL OR HANDRAIL IS PROVIDED, NO CURB IS REQUIRED WHEN A GUIDE RAIL IS PROVIDED CENTERED 3' PLUS OR MINUS 1" ABOVE THE SURFACE OF THE WALK OR SIDEWALK, THE WALK IS 5% OR LESS GRADIENT OR NO ADJACENT HAZARD EXISTS.
- OBJECTS PROJECTING FROM WALLS (FOR EXAMPLE, TELEPHONES) WITH THEIR EDGES BETWEEN 27" AND 80" ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES. SEC 11338.8.1
- OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27" ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES.
- FREESTANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12" MAXIMUM FROM 27" TO 80" ABOVE THE GROUND OR FINISHED FLOOR.
- PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE. SEC 11338.8
- WALKS, HALLS, CORRIDORS, PASSAGEWAYS, AISLES OR OTHER CIRCULATION SPACES SHALL HAVE 80" MINIMUM CLEAR HEAD ROOM.
- ANY OBSTRUCTION OVERHANGING A PEDESTRIAN WAY SHALL BE A MINIMUM OF 80" ABOVE THE WALKING SURFACE AS MEASURED FROM THE BOTTOM OF THE OBSTRUCTION.
- WHERE A GUY SUPPORT IS USED PARALLEL TO A PATH OF TRAVEL, INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, A GUY BRACE, SIDEWALK GUY OR SIMILAR DEVICE SHALL BE USED TO PREVENT AN OVERHANGING OBSTRUCTION AS DEFINED.
- IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS, OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36" WIDE, COMPLYING WITH SECTION 11.
- TRANSIT BOARDING PLATFORMS SHALL CONFORM TO THE REQUIREMENTS

COVERED MULTI-FAMILY DWELLINGS:

- ALL GROUND-FLOOR DWELLING UNITS IN NON-ELEVATOR BUILDINGS SHALL BE ADAPTABLE AND ON AN ACCESSIBLE ROUTE PER C.B.C 1104A.1.
- WHERE THE FIRST FLOOR CONTAINING DWELLING UNITS IN A BUILDING IS ABOVE GRADE, ALL UNITS ON THAT FLOOR SHALL BE SERVED BY AN ACCESSIBLE ROUTE. THIS FLOOR WILL BE CONSIDERED A GROUND FLOOR AND ALL DWELLING UNITS ARE CONSIDERED MULTI-FAMILY DWELLING UNIT
- CARRIAGE UNITS AS DEFINED IN SECTION 1107A.3-C DO NOT HAVE TO BE ACCESSIBLE PER C.B.C. 1104A.2.

MULTI-STORY DWELLINGS IN A BUILDING WITH AN ELEVATOR:

1. THE STORY OF THE UNIT THAT IS SERVED BY THE BUILDING ELEVATOR IS CONSIDERED A GROUND FLOOR AND THE PRIMARY ENTRY FLOOR TO THE UNIT SHALL COMPLY TO THE FOLLOWING:

- AT LEAST 1 POWDER ROOM OR BATHROOM SHALL BE LOCATED ON THE PRIMARY ENTRY LEVEL.
- ALL ROOMS OR SPACES LOCATED ON THE PRIMARY ENTRY LEVEL SHALL BE SERVED BY AN ACCESSIBLE ROUTE AND SHALL COMPLY WITH DIVISION IV.

CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS:

- THE MINIMUM CLEAR FLOOR OR GROUND SPACE REQUIRED TO ACCOMMODATE A SINGLE, STATIONARY WHEELCHAIR AND OCCUPANT IS 30' X 48". THE MINIMUM WHERE FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE POSITIONED FOR FORWARD OR PARALLEL APPROACH TO AN OBJECT. CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE PART OF THE KNEE SPACE REQUIRED UNDER SOME OBJECTS.
- ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR OR GROUND SPACE FOR A WHEELCHAIR SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER WHEELCHAIR CLEAR FLOOR SPACE. IF A CLEAR FLOOR SPACE IS LOCATED IN AN ALCOVE OR OTHERWISE CONFINED ON ALL OR A PART OF THREE SIDES, ADDITIONAL MANEUVERING CLEARANCES SHALL BE PROVIDED.
- PROVIDE AN ADDITIONAL 12-INCH WIDTH ON ONE SIDE FOR ALCOVES GREATER THAN 15" DEEP AND DESIGNED FOR SIDE APPROACH.
- PROVIDE AN ADDITIONAL 6" WIDTH ON ONE SIDE FOR ALCOVES GREATER THAN 24" DEEP AND DESIGNED FOR FRONTAL APPROACH.
- IF THE WALK FLOOR SPACE ONLY ALLOWS FORWARD APPROACH TO AN OBJECT, THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL BE 48" IF THE HIGH FORWARD REACH IS OVER AN OBSTRUCTION, THE HORIZONTAL DIMENSION OF THE OBSTRUCTION SHALL BE LESS THAN 25". THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL BE 44" WHEN THE HORIZONTAL DIMENSION OF THE OBSTRUCTION IS BETWEEN 20" AND 25".
- IF THE CLEAR FLOOR SPACE ALLOWS PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR, THE MAXIMUM HIGH SIDE REACH ALLOWED SHALL BE 54" AND THE LOW SIDE REACH SHALL BE NO LESS THAN 9" ABOVE THE FLOOR. SIDE REACH IS ALLOWED OVER AN OBSTRUCTION PROVIDED THE HORIZONTAL DIMENSION OF THE OBSTRUCTION DOES NOT EXCEED 24".

FLOORING:

1. IF CARPET OR CARPET TILE IS USED IN A COMMON-USE AREA ON A GROUND FLOOR SURFACE, IT SHALL HAVE FIRM BACKING OR NO BACKING. THE MAXIMUM PILE HEIGHT SHALL BE 1/2" EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH THE REQUIREMENTS FOR CHANGES IN LEVEL.

SWITCHES:

- THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF SWITCHES USED TO CONTROL LIGHT SWITCHES, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL BE LOCATED NO HIGHER THAN 48", AND NO LOWER THAN 15", ABOVE THE FLOOR. IF THE REACH IS OVER AN OBSTRUCTION (FOR EXAMPLE, A KITCHEN BASE CABINET) BETWEEN 20 AND 25" IN DEPTH, THE MAXIMUM HEIGHT IS REDUCED TO 44" FOR FORWARD APPROACH, OR 46" FOR SIDE APPROACH, PROVIDED THE OBSTRUCTION IS NO MORE THAN 24" IN DEPTH. OBSTRUCTION MAY NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH A CONTROL.
- OTHER CONTROLS ARE ACCEPTABLE PROVIDED THAT COMPARABLE CONTROLS THAT PERFORM THE SAME FUNCTION ARE PROVIDED WITHIN THE SAME AREA AND ARE ACCESSIBLE.

ELECTRICAL REQUIREMENTS:

- THE CENTER OF ELECTRICAL AND COMMUNICATION SYSTEMS RECEPTACLE OUTLETS SHALL BE INSTALLED NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORMS.
- THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING AND VENTILATING EQUIPMENT, SHALL BE NO MORE THAN 48" OR WORKING PLATFORM.
- THE CENTER OF FIRE ALARM INITIATING DEVICES (BOXES) SHALL BE LOCATED 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK.

ELECTRICAL OUTLETS:

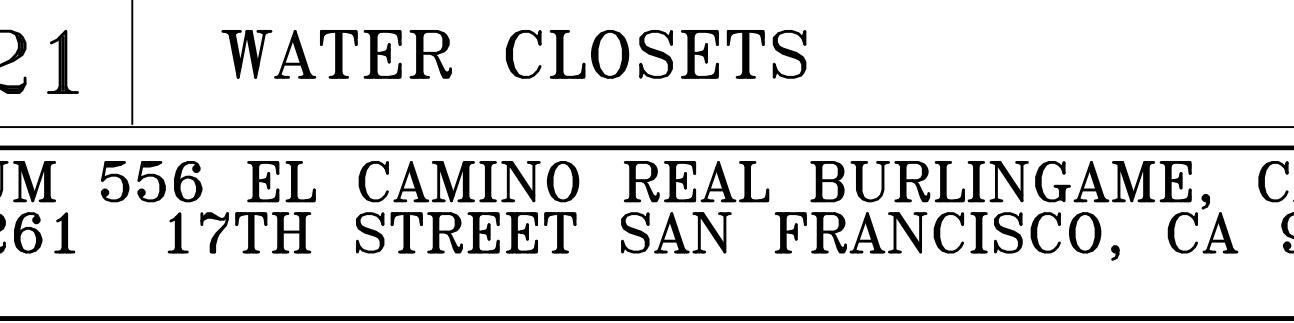
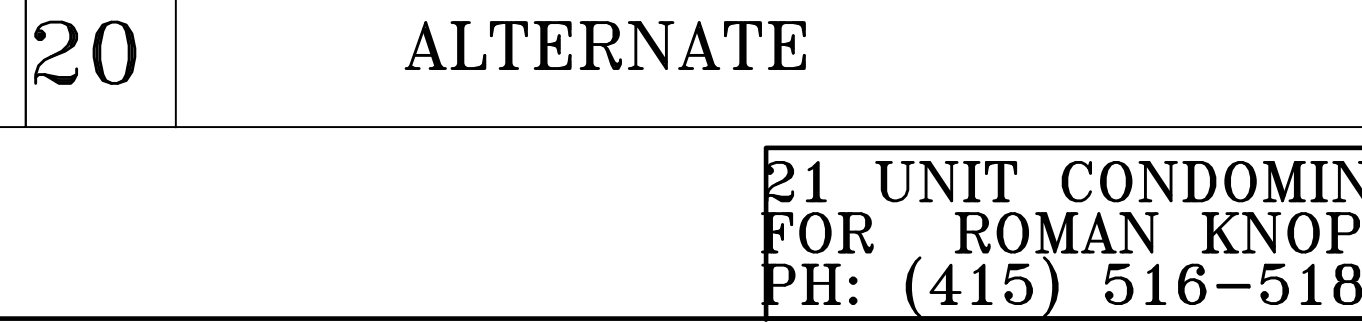
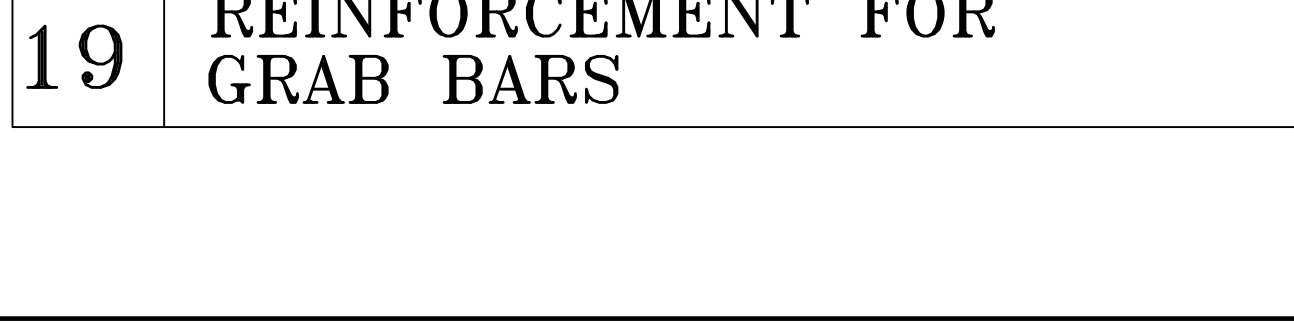
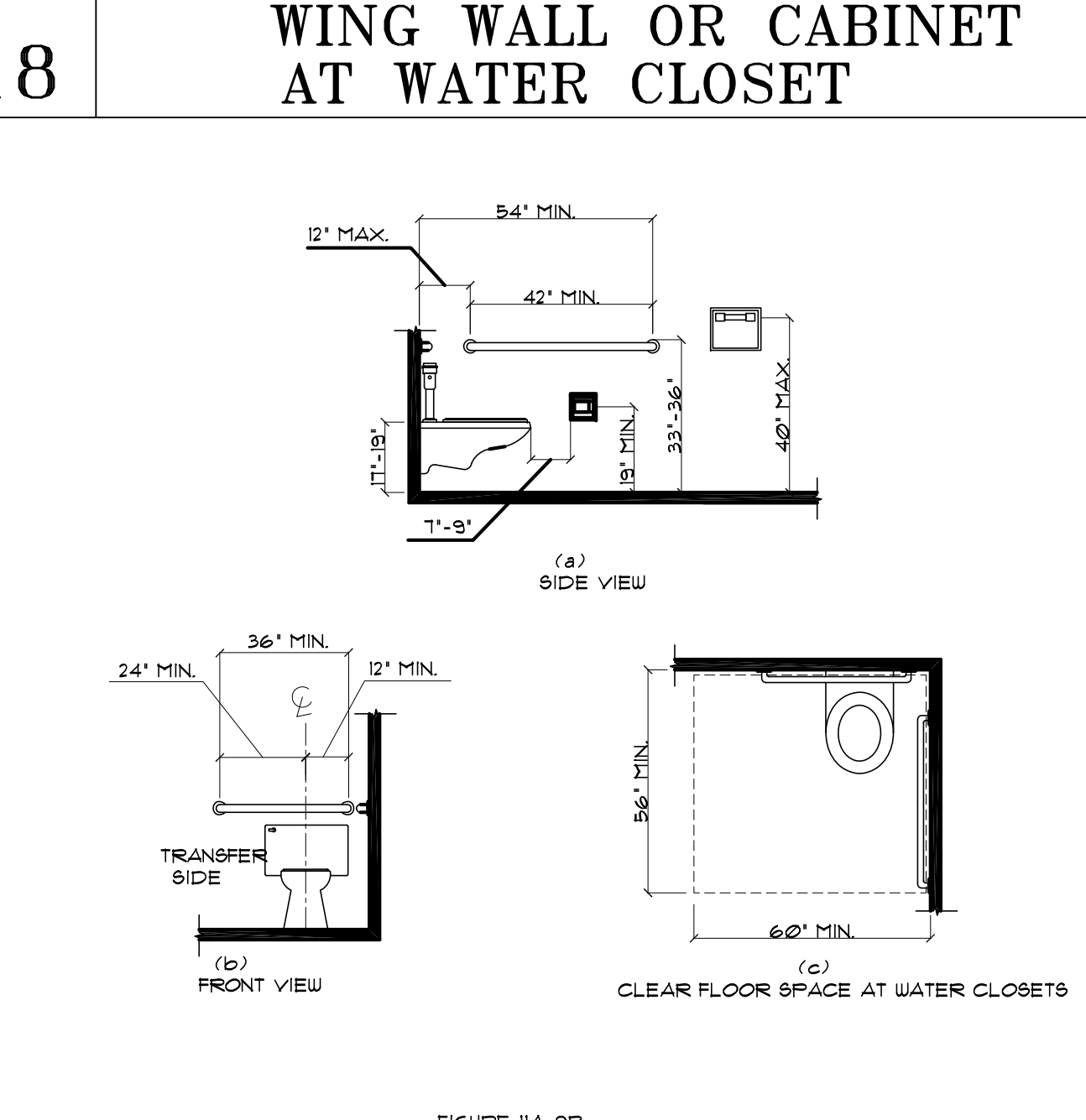
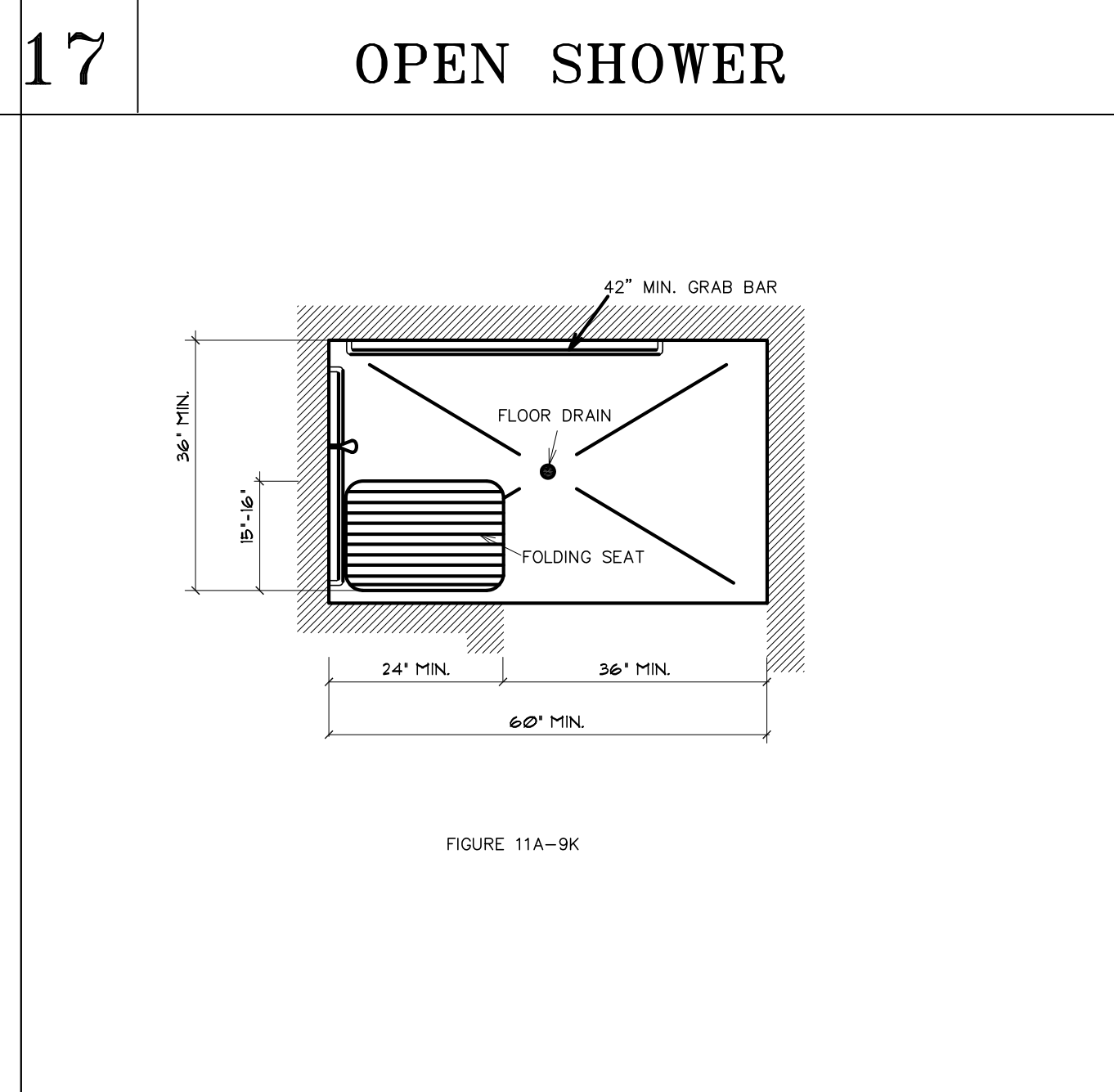
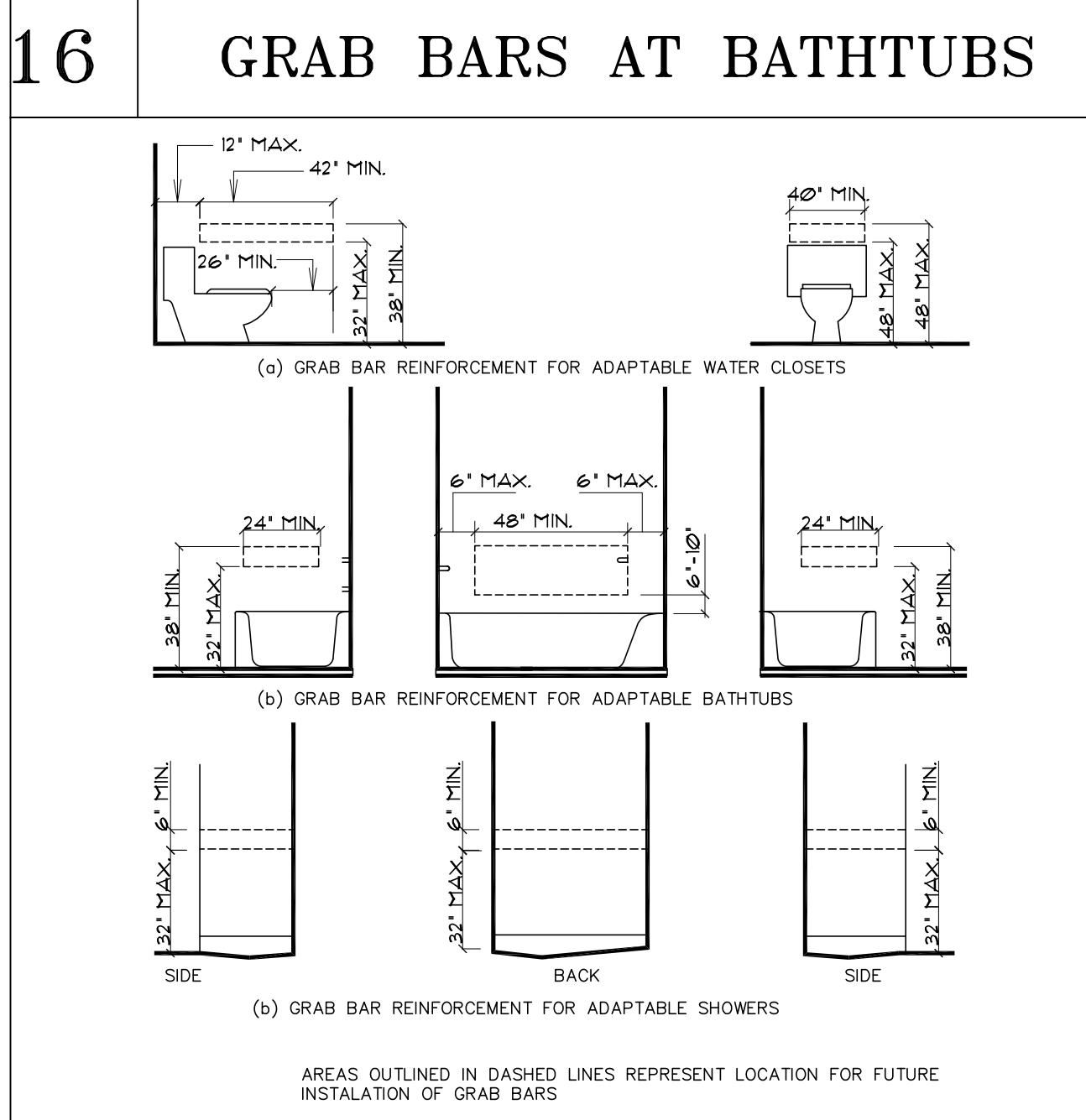
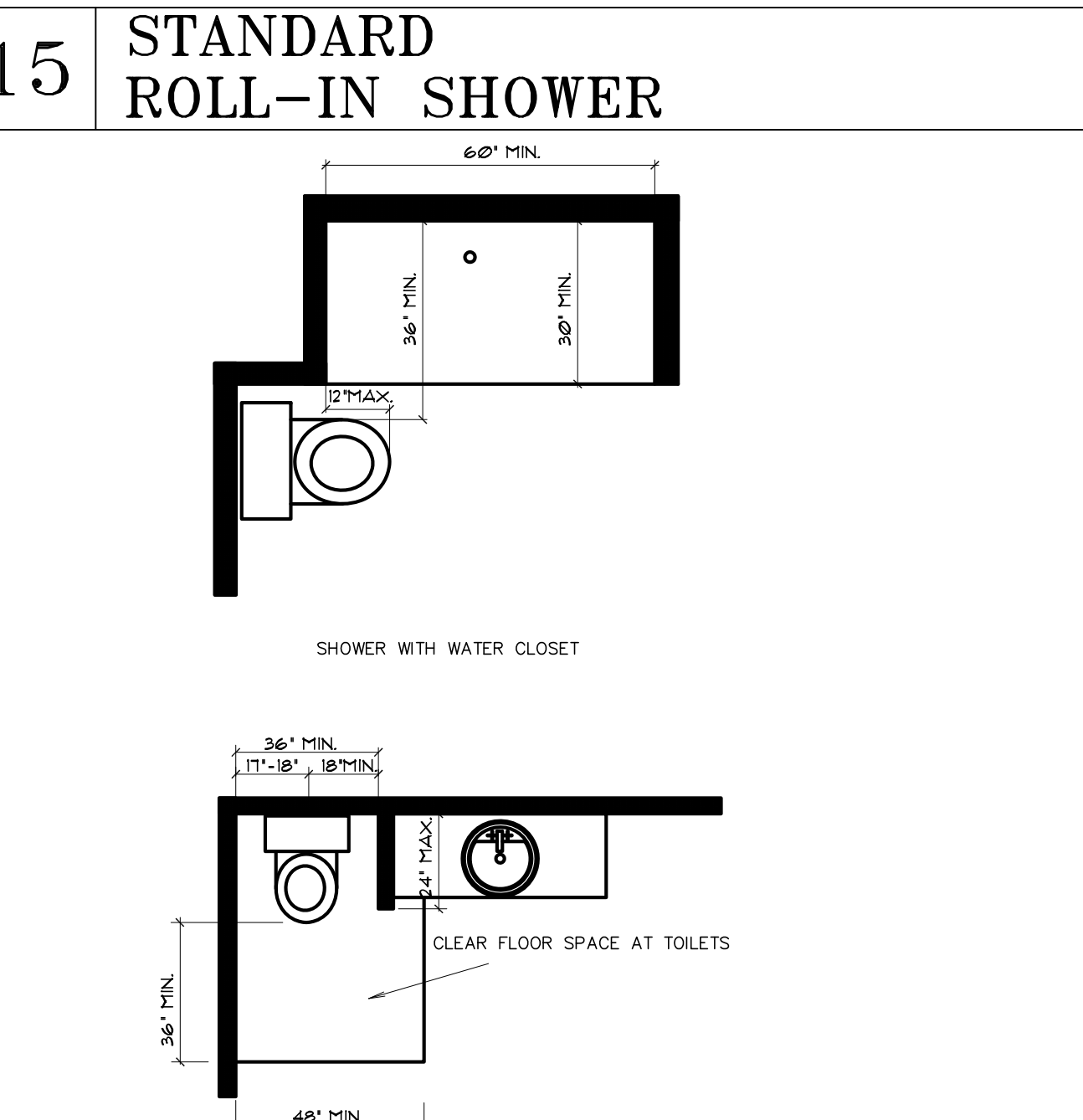
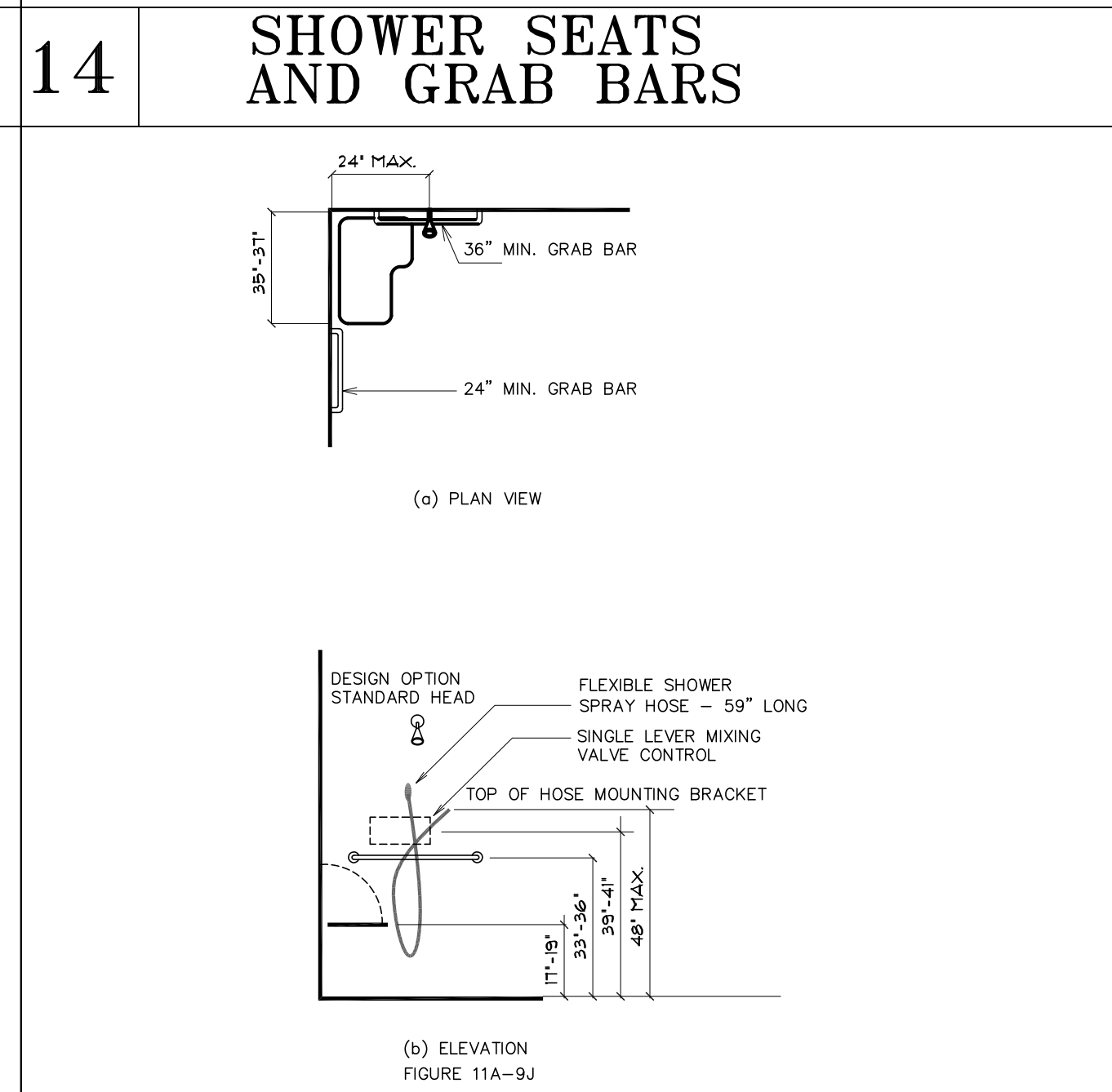
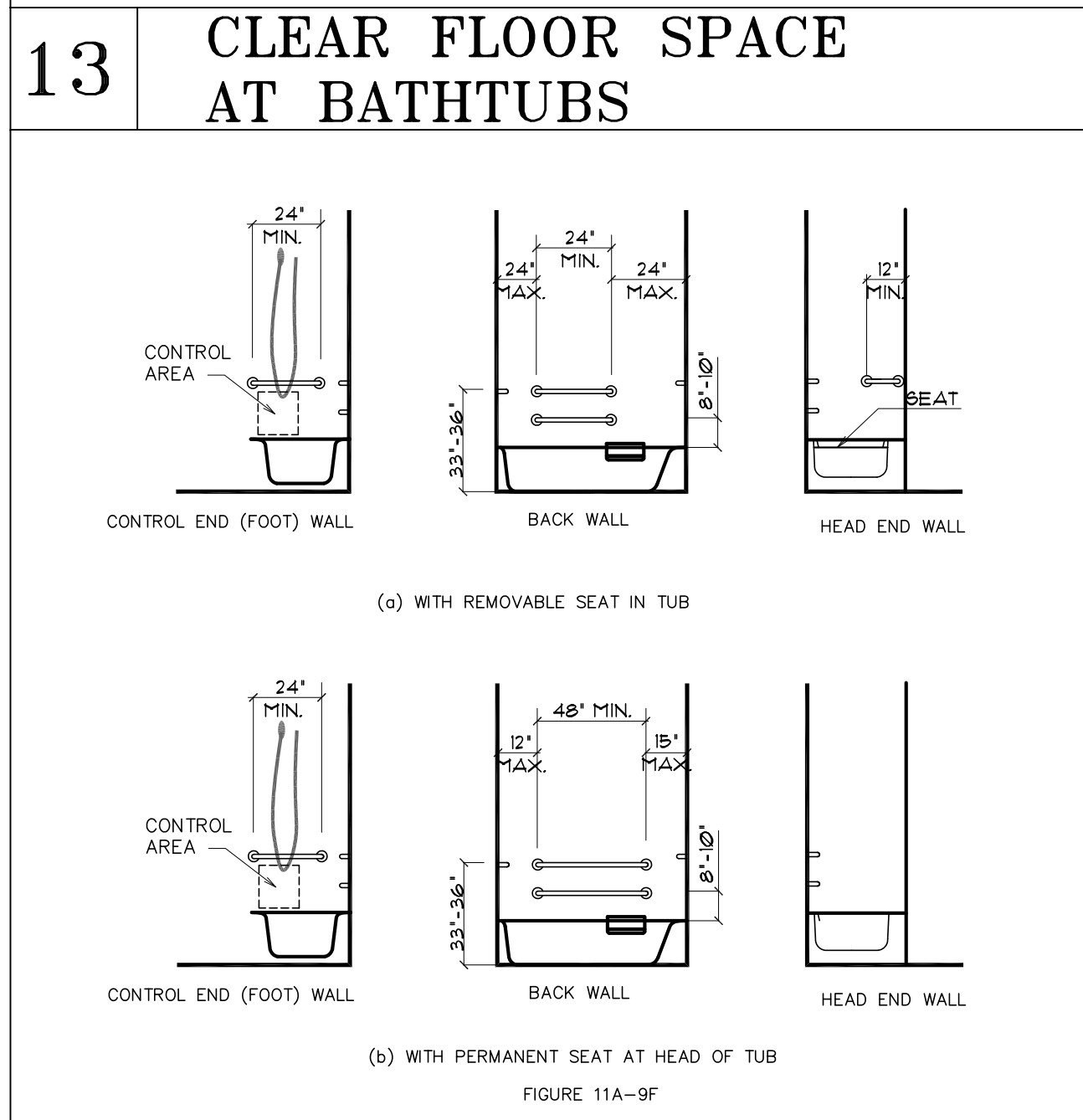
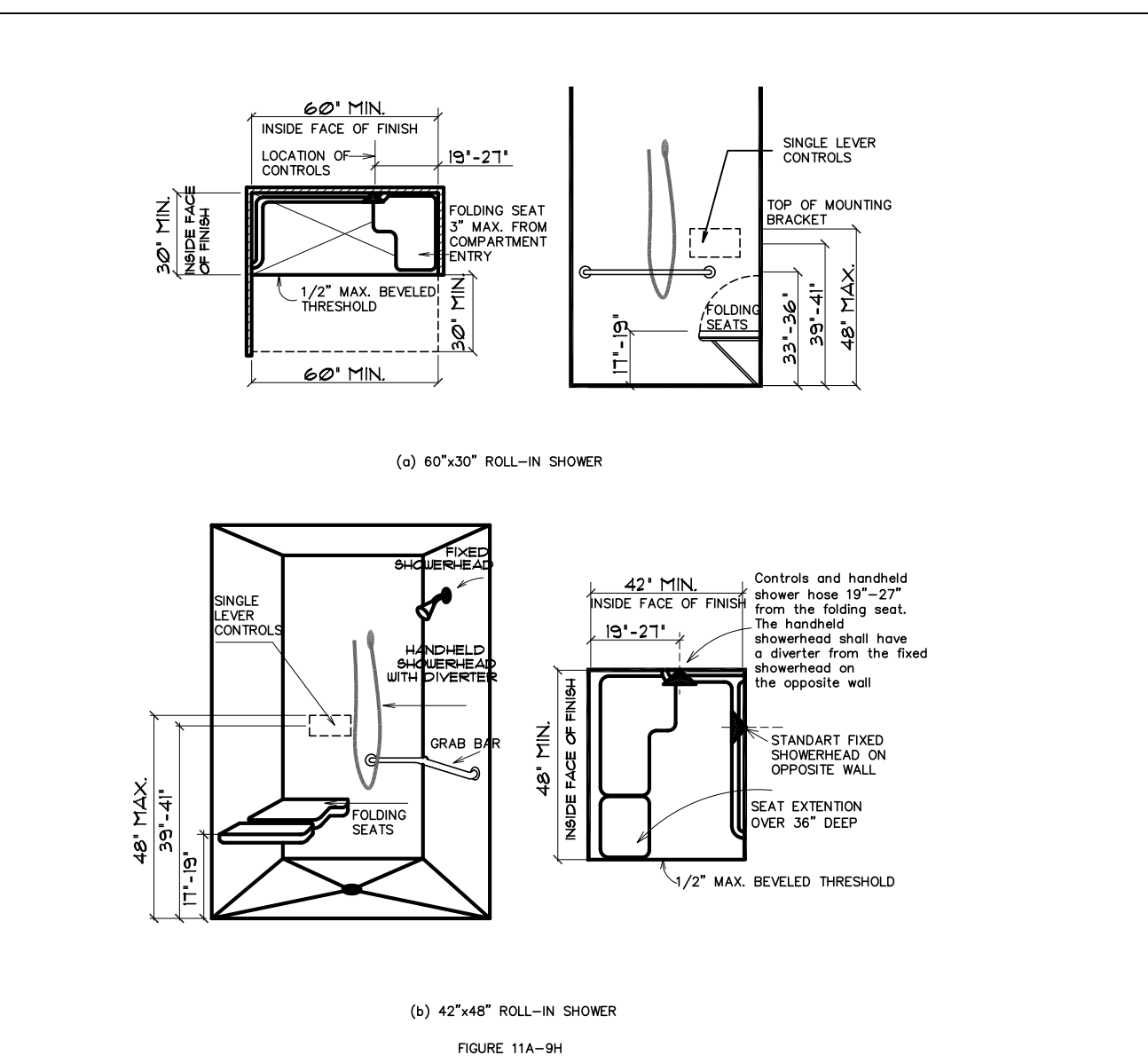
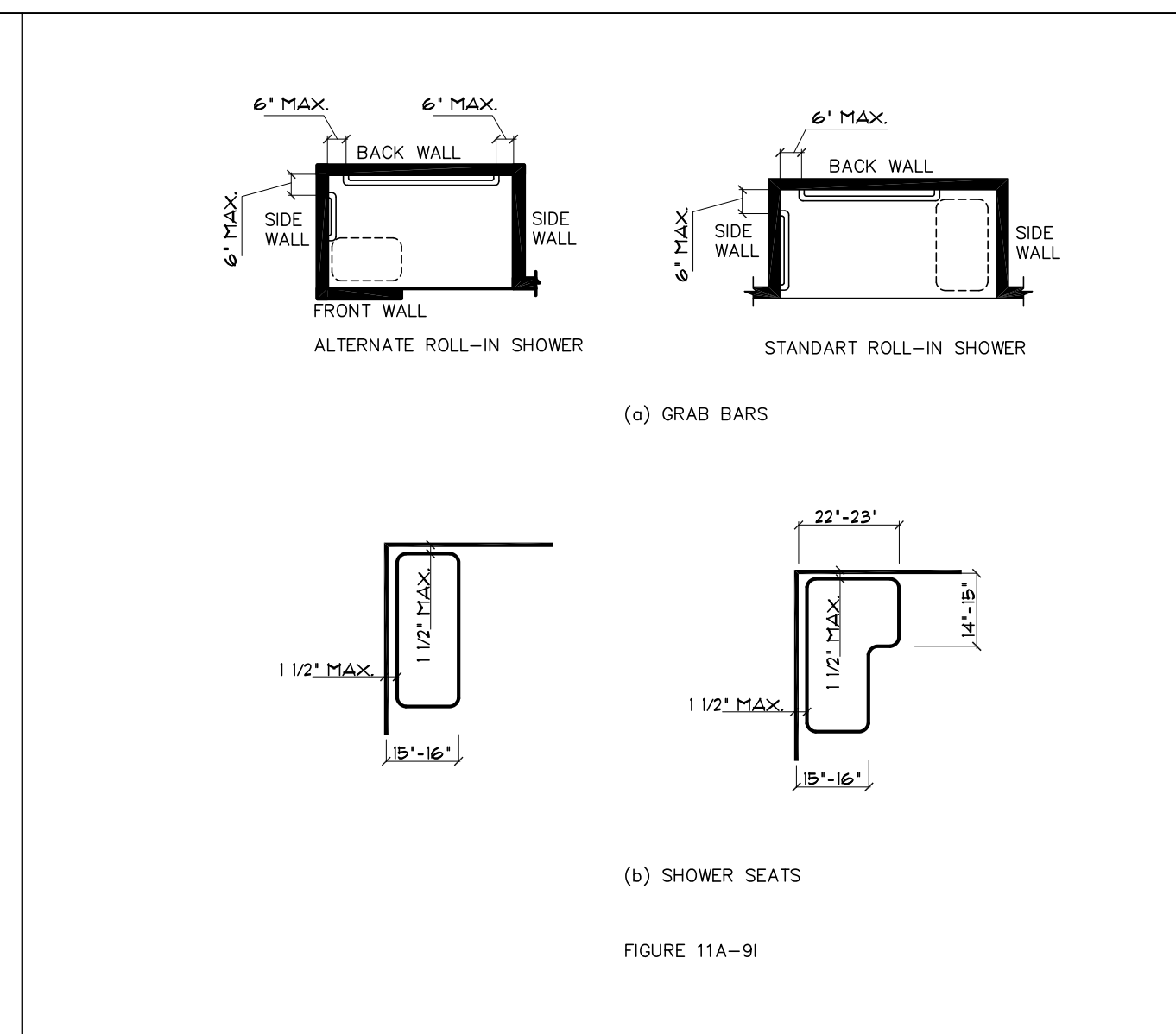
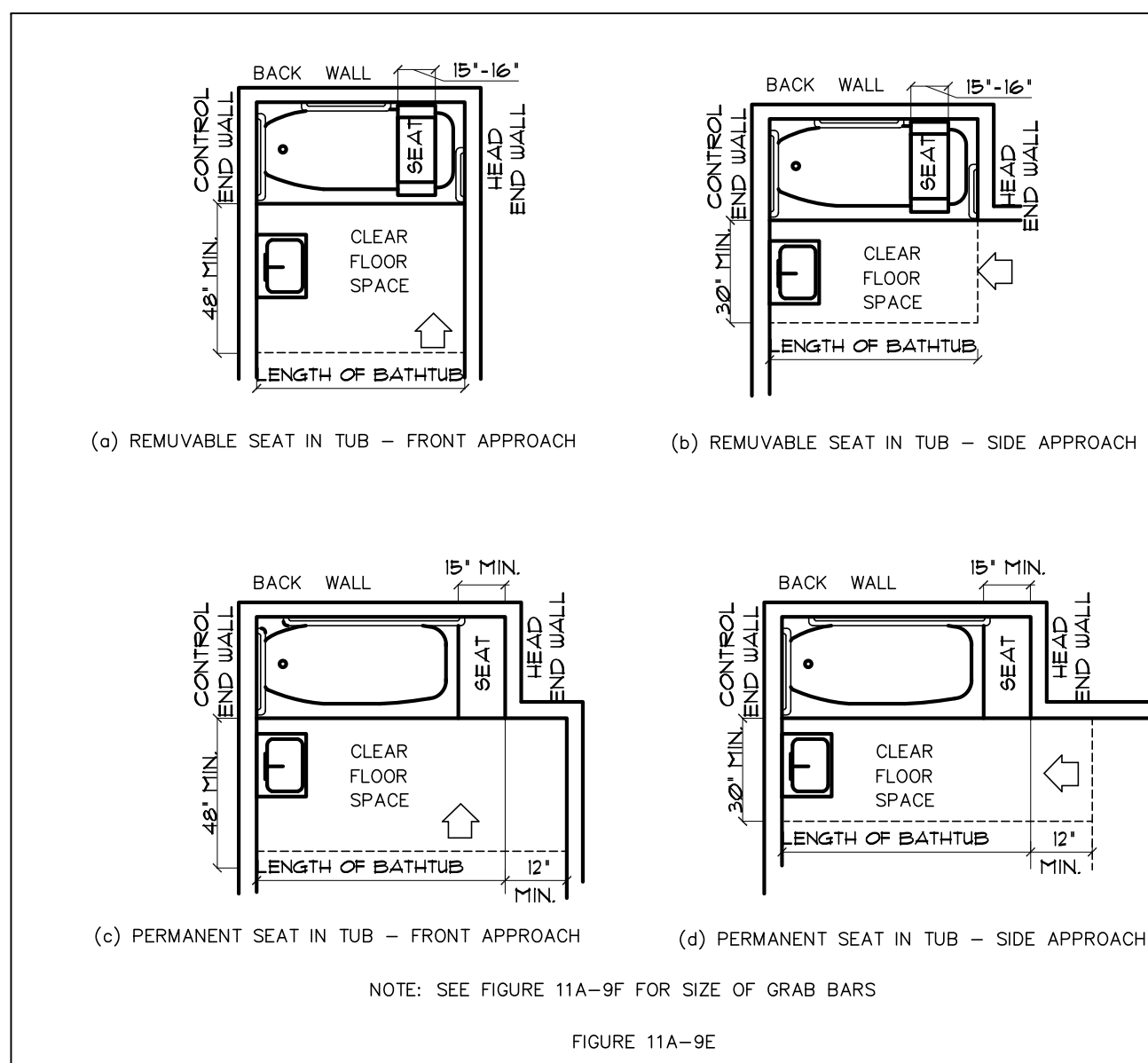
1. THE CENTER OF 15-, 20-, AND 30-AMPERE ELECTRICAL OUTLETS MUST BE INSTALLED NO HIGHER THAN 48" AND NO LOWER THAN 15" ABOVE THE FLOOR. THIS REQUIREMENT DOES NOT APPLY TO ELECTRICAL OUTLETS INSTALLED AS A PART OF PERMANENTLY INSTALLED BASEBOARD HEATERS, OUTLETS REQUIRE IN AREA ADJACENT TO SLIDING PANELS OR WALLS, OR OTHER ELECTRICAL CONVENIENCE FLOOR OUTLETS. THE REQUIREMENT ALSO DOES NOT APPLY TO BASEBOARD ELECTRICAL OUTLETS USED IN MOVABLE PARTITIONS, OR IN WALLS WITH WINDOWS.

2. IF THE REACH IS OVER AN OBSTRUCTION (FOR EXAMPLE, A KITCHEN BASE CABINET) BETWEEN 20" AND 25" IN DEPTH, THE MAXIMUM HEIGHT IS REDUCED TO 44" FOR FORWARD APPROACH, OR 46" FOR SIDE APPROACH, PROVIDED THE OBSTRUCTION IS NO MORE THAN 24" IN DEPTH. OBSTRUCTIONS MAY NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH THE RECEPTACLE.

3. OTHER OUTLETS ARE ACCEPTABLE PROVIDED THE COMPARABLE OUTLETS, THAT PERFORM THE 3. SAME FUNCTIONS, ARE PROVIDED WITHIN THE SAME AREA AND ARE ACCESSIBLE.

CONTROLS & OPERATING MECHANISMS:

- THE HIGHEST AND LOWEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITHIN 48" OF THE FLOOR BUT NOT LOWER THAN 15" IF FORWARD APPROACHED AND WITHIN 54" BUT NOT LOWER THAN 9" IF SIDE APPROACHED.
- ELECTRICAL AND COMMUNICATION SYSTEM RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15" ABOVE THE FLOOR. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PUNCHING, OR TWISTING OF THE WRIST.
- THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS OF FORCE. VENDING MACHINES SHALL BE INSTALLED IN COMPLIANCE WITH CODE.



21 UNIT CONDOMINIUM 556 EL CAMINO REAL BURLINGAME, CA
 FOR ROMAN KNOP 261 17TH STREET SAN FRANCISCO, CA 94121
 PH: (415) 516-5180

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09-01-2015	VTK
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DATE	02/07/11
SCALE	N.T.S.
DRAWN	VTK
JOB	ROMAN
SHEET	A-2.1
OF	SHEETS



FRONT ELEVATION

SCALE 3/16"=1'-0"

ENTRANCES / DOORS

1. ALL ACCESSIBLE ENTRANCES SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.
2. EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 36 INCHES IN WIDTH, AND NOT LESS THAN 80 INCHES IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE MOUNTED SO THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32 INCHES.
3. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL, SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
4. LEVER HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES AND 44 INCHES MAXIMUM ABOVE THE FLOOR.
5. THE FLOOR OR LANDING LENGTH ON EACH SIDE OF AN ENTRANCE OR A PASSAGE DOOR SHALL BE LEVEL AND CLEAR AT LEAST 60 INCHES IN THE DIRECTION OF THE DOOR SWING AND AT LEAST 48 INCHES OPPOSITE THE DIRECTION OF THE DOOR SWING AS MEASURED AT RIGHT ANGLES TO THE FACE OF THE DOOR IN THE CLOSED POSITION. THE WIDTH OF THE LEVEL AND CLEAR AREA ON THE SIDE WHICH THE DOOR SWINGS SHALL EXTEND A MINIMUM OF 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR DOORS WITH LATCH SIDE APPROACH AND 36 INCHES FOR DOORS REQUIRING LATCH SIDE APPROACH. REFER TO DETAIL NO. 2 ON THIS DRAWING FOR ADDITIONAL CLEARANCE REQUIREMENTS.
6. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGES IN LEVEL BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE LEVELED WITH A SLOPE NO GREATER THAN 1:2.
7. THE BOTTOM 10 INCHES OF ALL DOORS (EXCEPT AUTOMATIC AND SLIDING) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION WHERE NARROW FRAME DOORS ARE USED, A 10 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST.
8. THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY NOT EXCEED 15 LBS.

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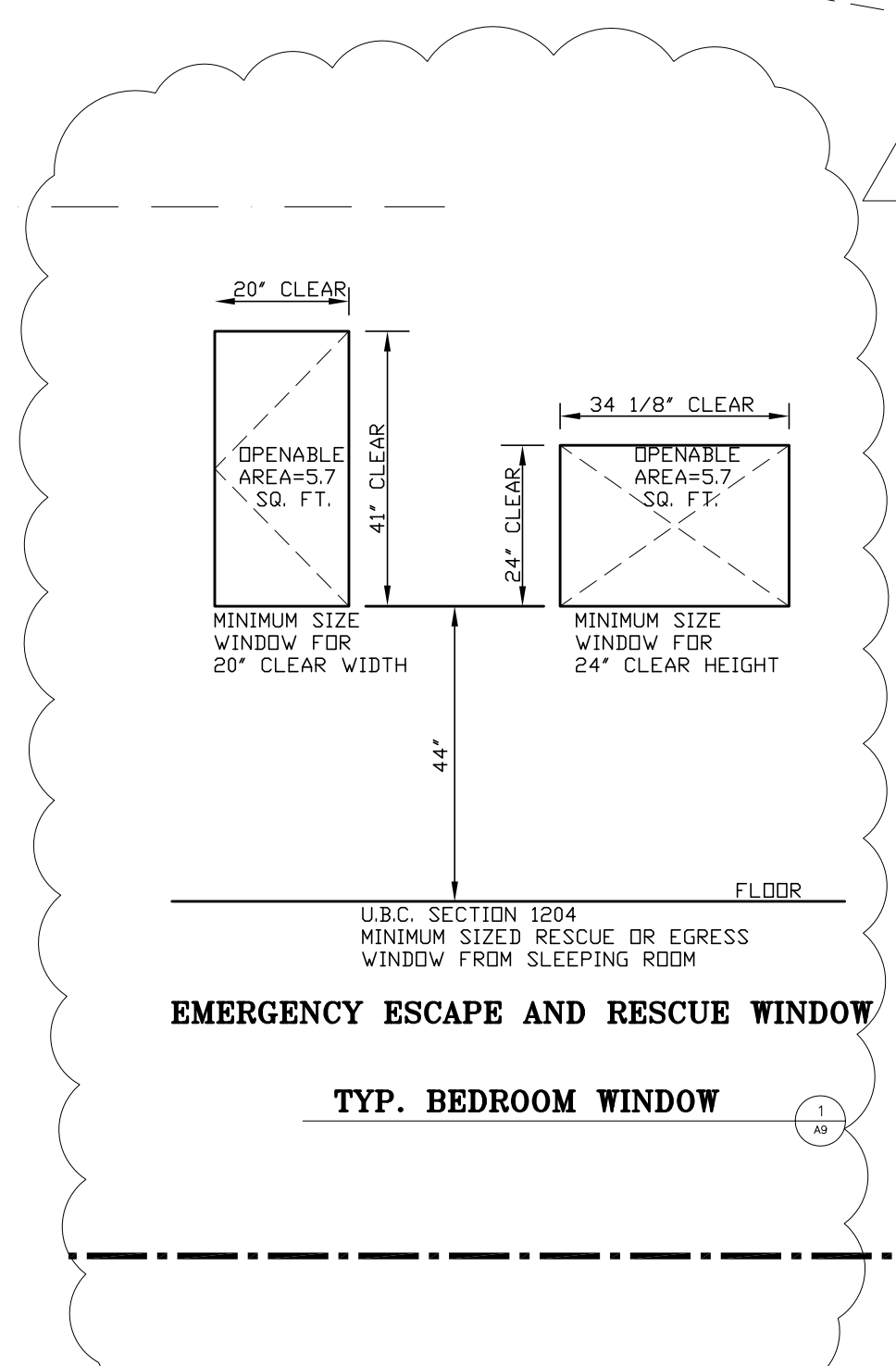
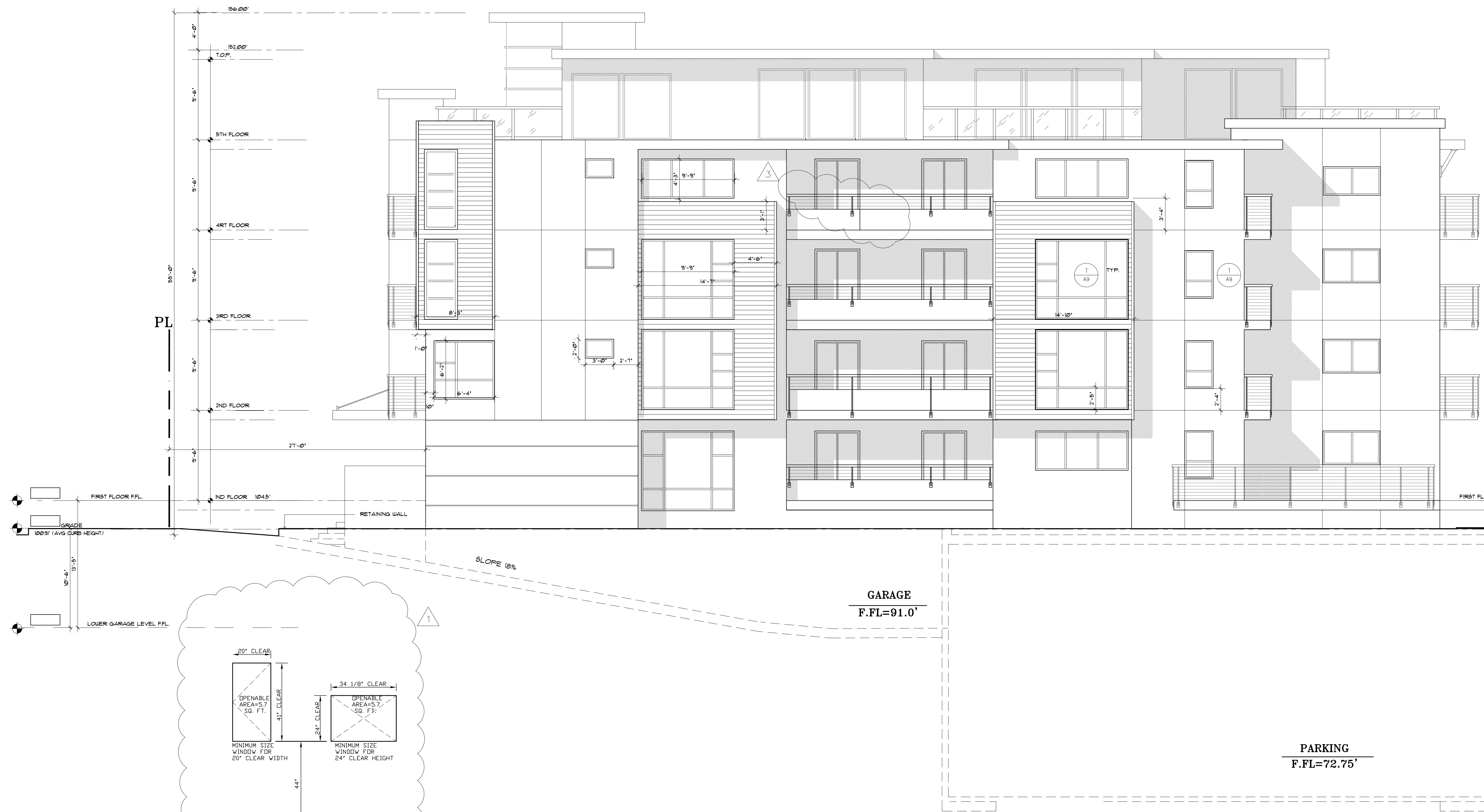
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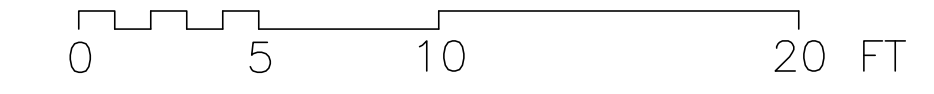
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DRAWN	VTK
JOB	ROMAN
SHEET	A-3.0
OF	SHEETS

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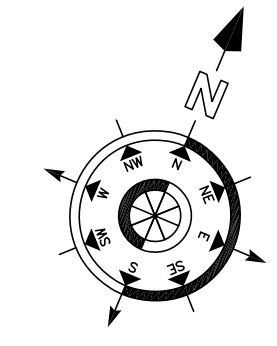


RIGHT SIDE ELEVATION

ELEVATION



SCALE 3/16"=1'-0"



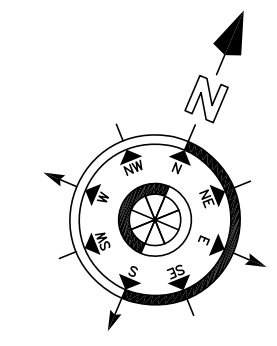
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<p>556 EL CAMINO REAL BURLINGAME, CA</p>	
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JOB	ROMAN
SHEET	A-3.1
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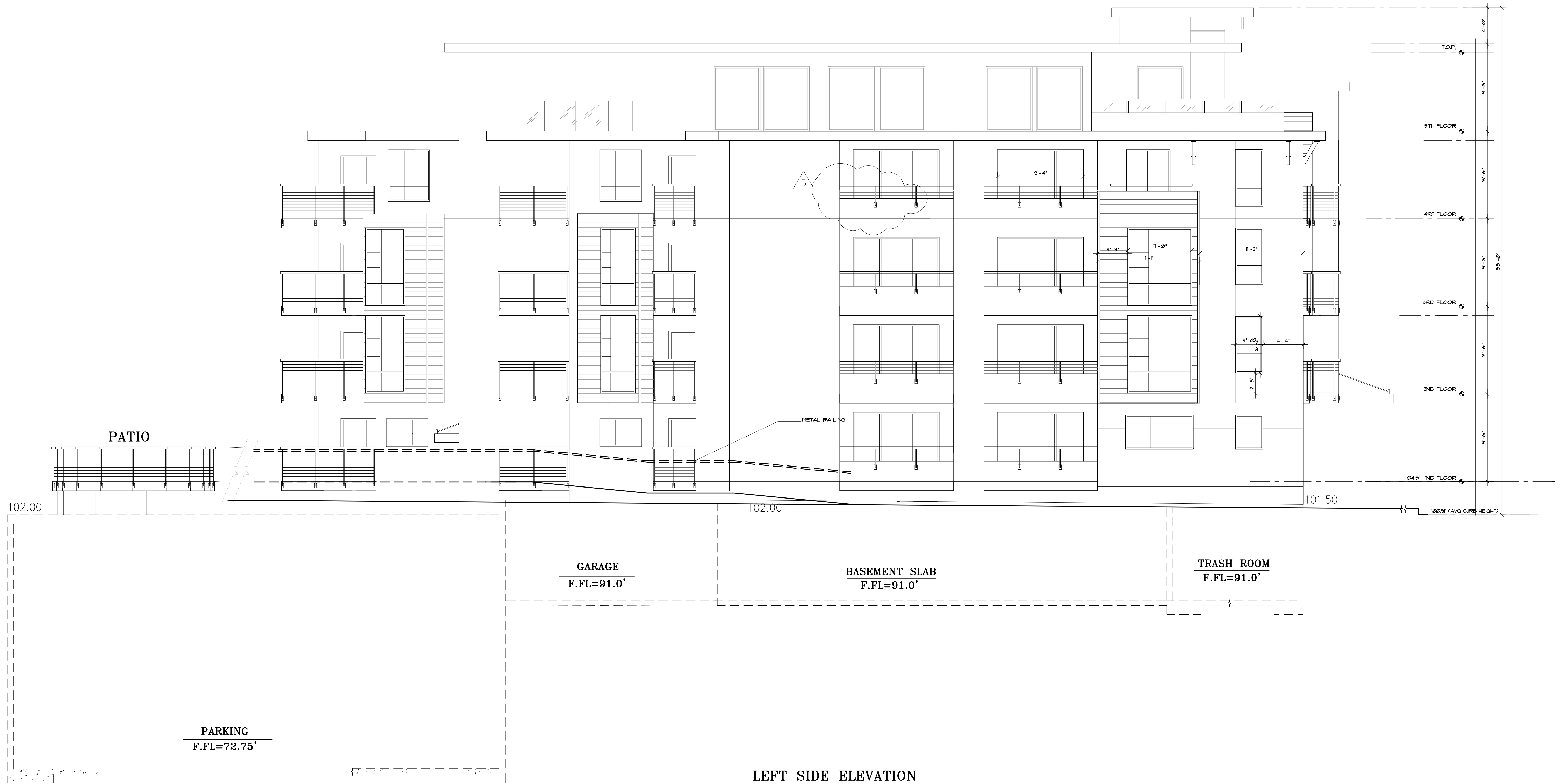
ELEVATION

SCALE 3/16"=1'-0"



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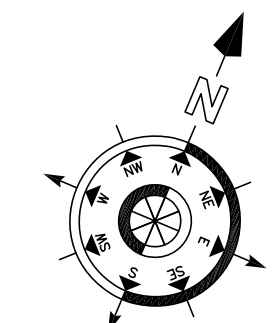
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DRAWN	VTK
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SHEET	A-3.2
OF	SHEETS



LEFT SIDE ELEVATION

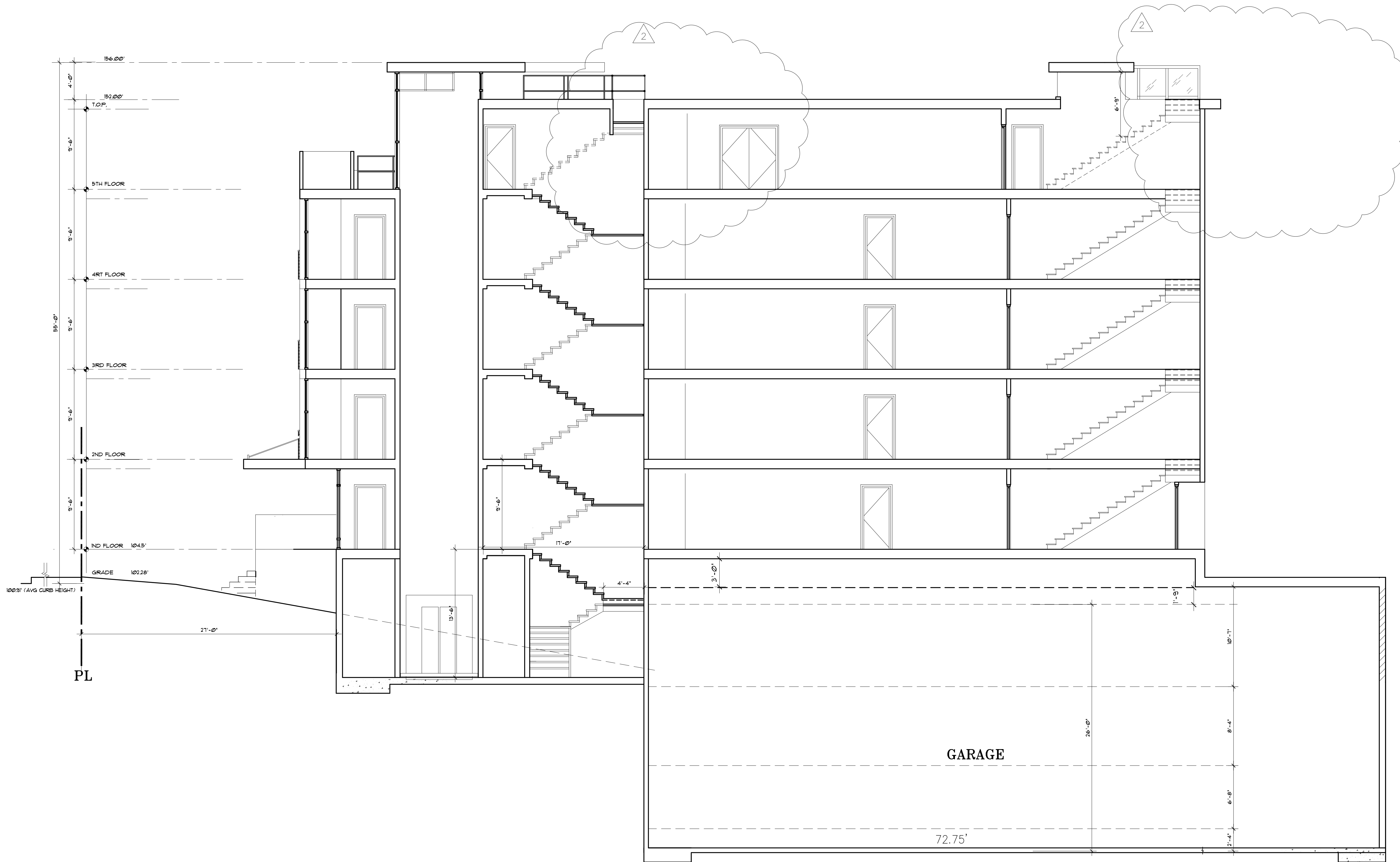
ELEVATION

SCALE 3/16"=1'-0"



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JOB	ROMAN
SHEET	A-3.3
OF	SHEETS



SECTION "B-B"

SCALE 3/16"=1'-0"

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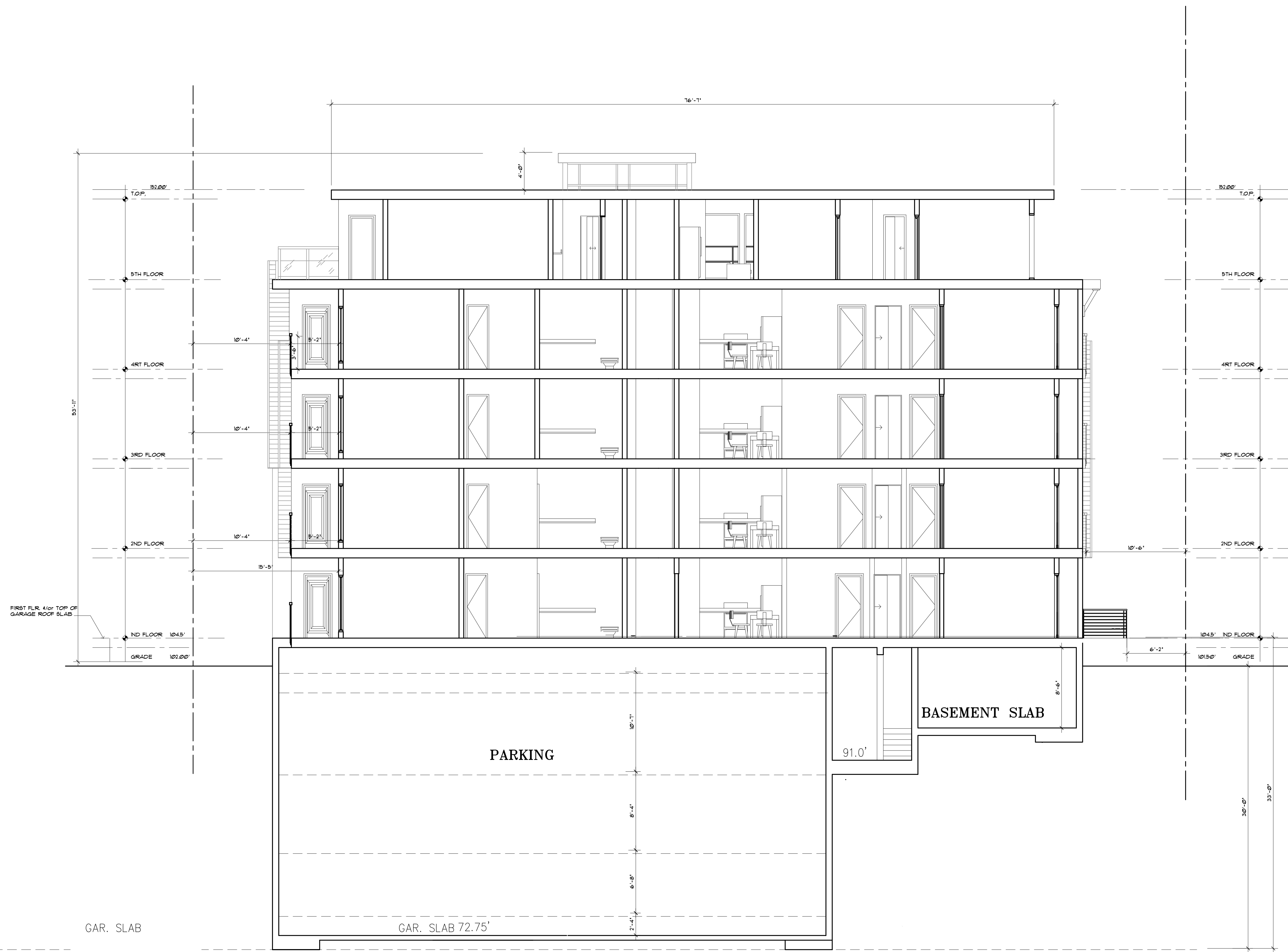
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FIRE DIVISION	
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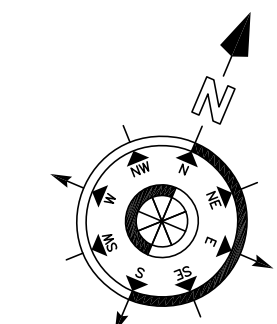
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JOB	ROMAN
SHEET	A-4.0
OF	SHEETS



SECTION "A-A"

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SCALE 3/16"=1'-0"



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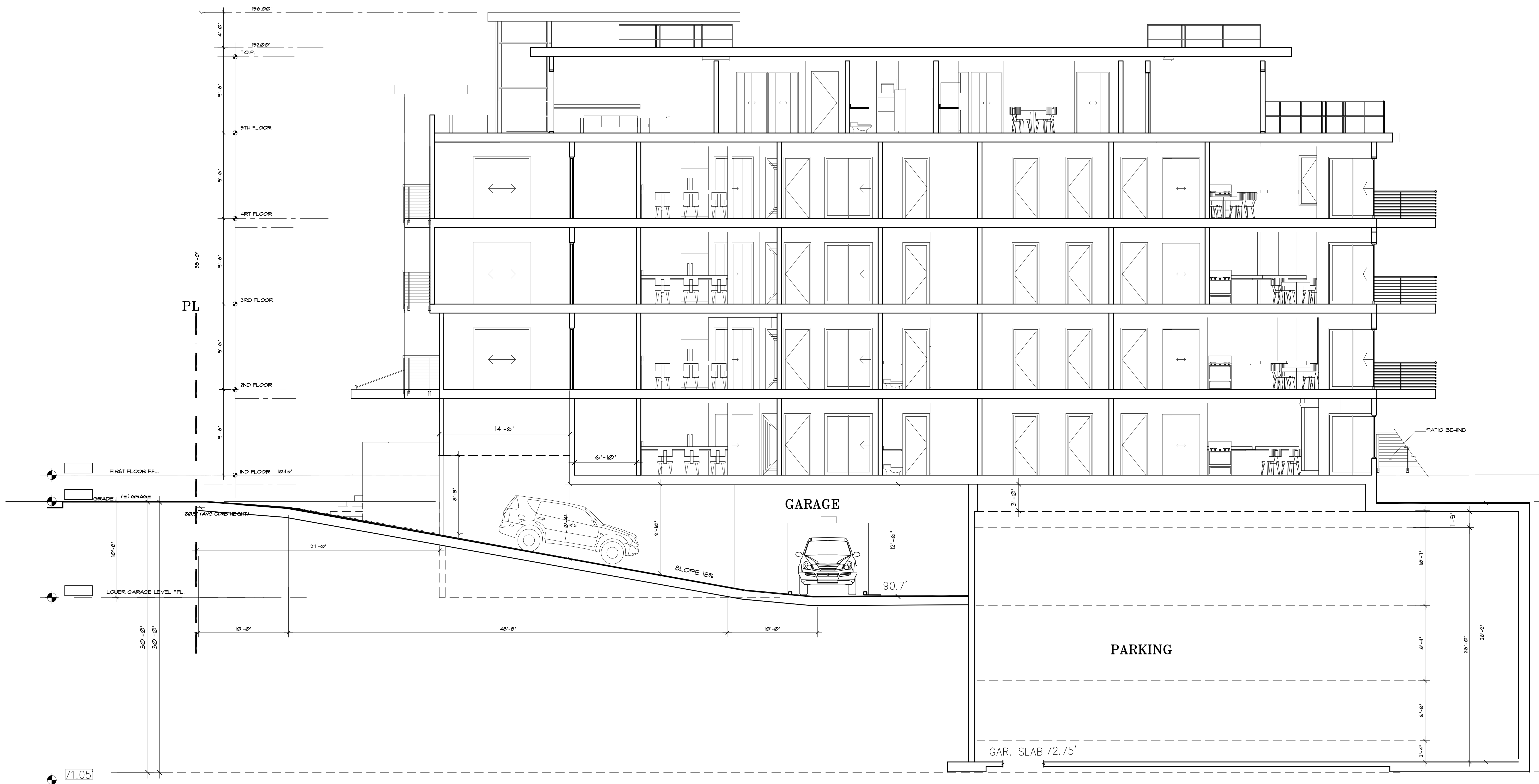
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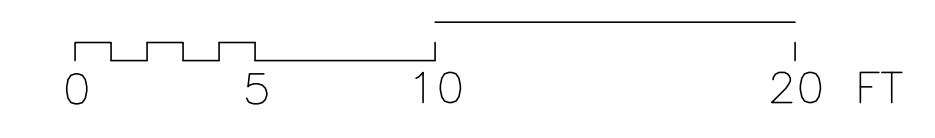
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556 EL CAMINO REAL
 BURLINGAME, CA

DATE	09/03/14
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-4.1
OF SHEETS	1

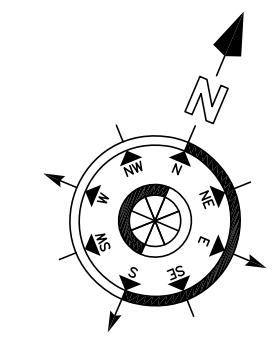


SECTION "C-C"



SECTION

SCALE 3/16"=1'-0"



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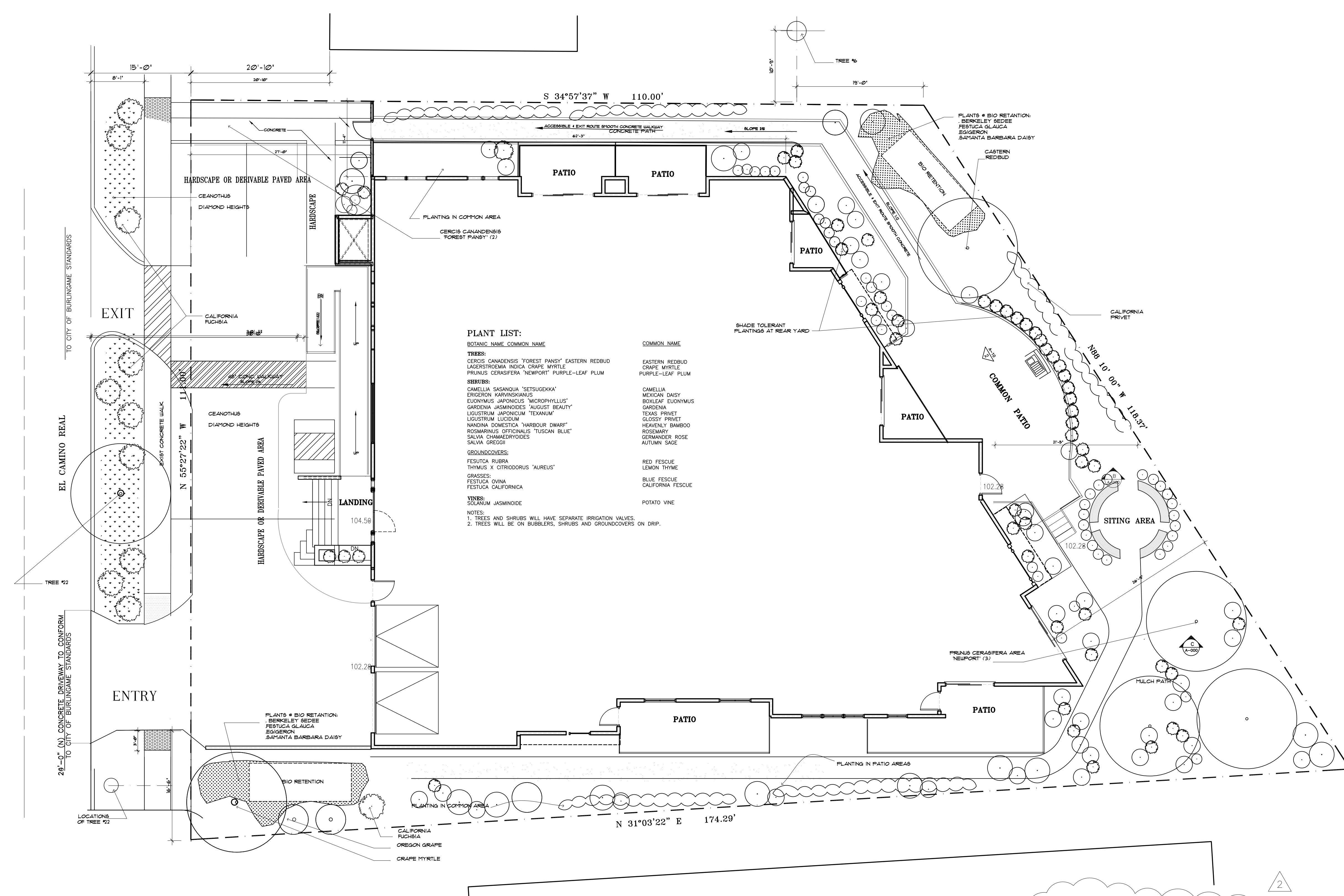
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556 EL CAMINO REAL
 BURLINGAME, CA

DATE	02/07/17
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	A-4.2
OF SHEETS	



PLANT LIST:

BOTANIC NAME	COMMON NAME	COMMON NAME
TREES:		
CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	EASTERN REDBUD
LAGERSTROEMIA INDICA 'CRAPE MYRTLE'	CRAPE MYRTLE	CRAPE MYRTLE
PRUNUS CERASIFERA 'NEWPORT'	PURPLE-LEAF PLUM	PURPLE-LEAF PLUM
SHRUBS:		
CAMELLIA SASANQUA 'SETSUGEKKA'	CAMELLIA	CAMELLIA
ERIGERON KARVINSKIANUS	MEXICAN DAISY	MEXICAN DAISY
EUONYMUS JAPONICUS 'MICROPHYLLUS'	BOXLEAF EUONYMUS	BOXLEAF EUONYMUS
GARDENIA JASMINOIDES 'AUGUST BEAUTY'	GARDENIA	GARDENIA
LIGUSTRUM JAPONICUM 'TEXANUM'	TEXAS PRIVET	TEXAS PRIVET
LIGUSTRUM LUCIDUM	GLOSSY PRIVET	GLOSSY PRIVET
NANDINA DOMESTICA 'HARBOR DWARF'	HEAVENLY BAMBOO	HEAVENLY BAMBOO
ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	ROSEMARY	ROSEMARY
SALVIA CHAMAEOPYRIS	GERMANIER ROSE	GERMANIER ROSE
SALVIA GRECCII	AUTUMN SAGE	AUTUMN SAGE
GROUNDCOVERS:		
FESTUCA RUBRA	RED FESCUE	RED FESCUE
THYMUS X CITRIODORUS 'AUREUS'	LEMON THYME	LEMON THYME
GRASSES:		
FESTUCA OVINA	BLUE FESCUE	BLUE FESCUE
FESTUCA CALIFORNICA	CALIFORNIA FESCUE	CALIFORNIA FESCUE
VINES:		
SOLANUM JASMINOIDES	POTATO VINE	POTATO VINE

NOTES:
 1. TREES AND SHRUBS WILL HAVE SEPARATE IRRIGATION VALVES.
 2. TREES WILL BE ON BUBBLERS, SHRUBS AND GROUNDCOVERS ON DRIP.

FIRST FLOOR PLAN
 SCALE 1/8"=1'-0"

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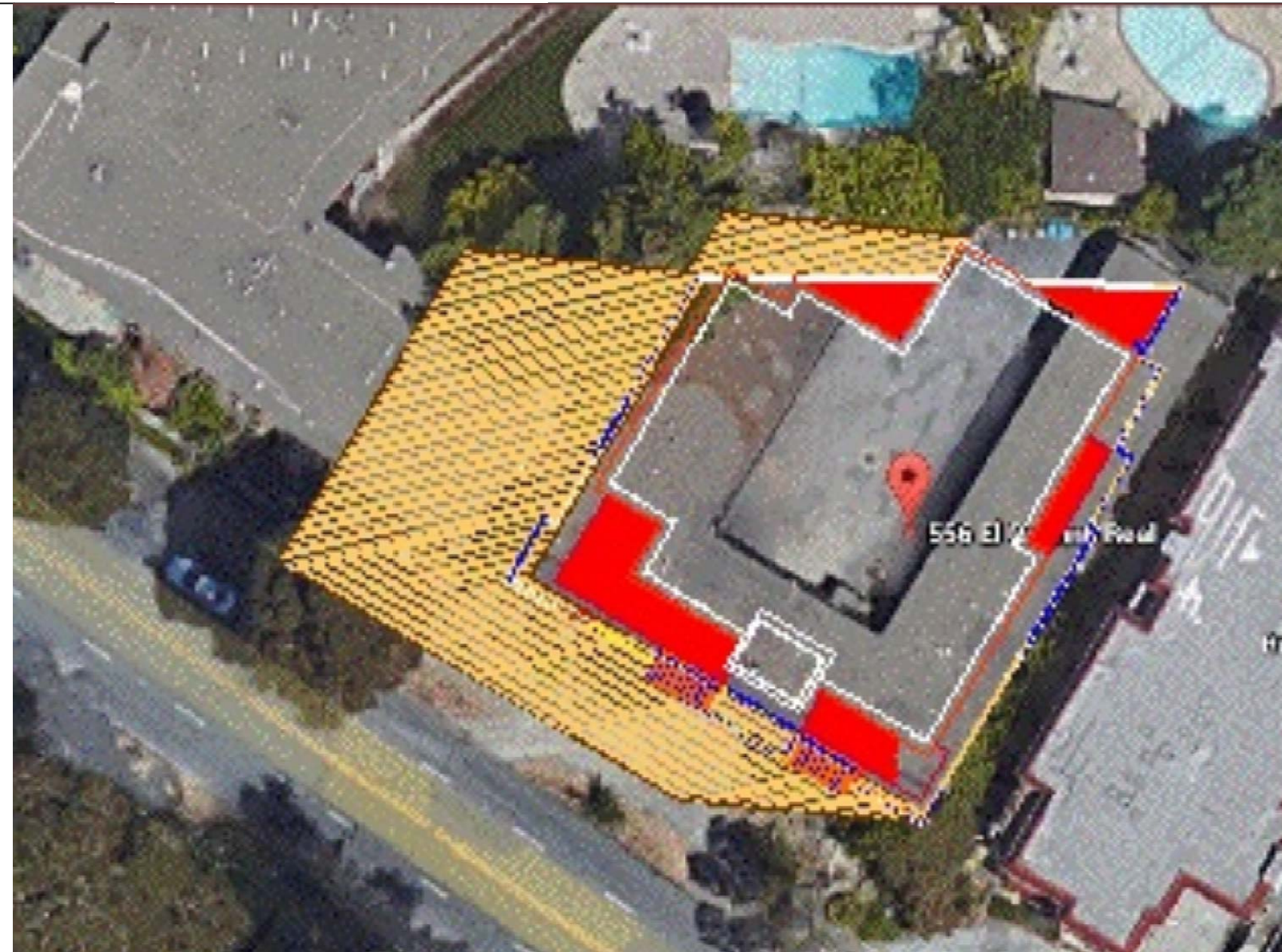
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556 EL CAMINO REAL BURLINGAME, CA	
DATE	02/07/17
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DRAWN	VTK
JOB	ROMAN
SHEET	L-1
OF	SHEETS

9 AM

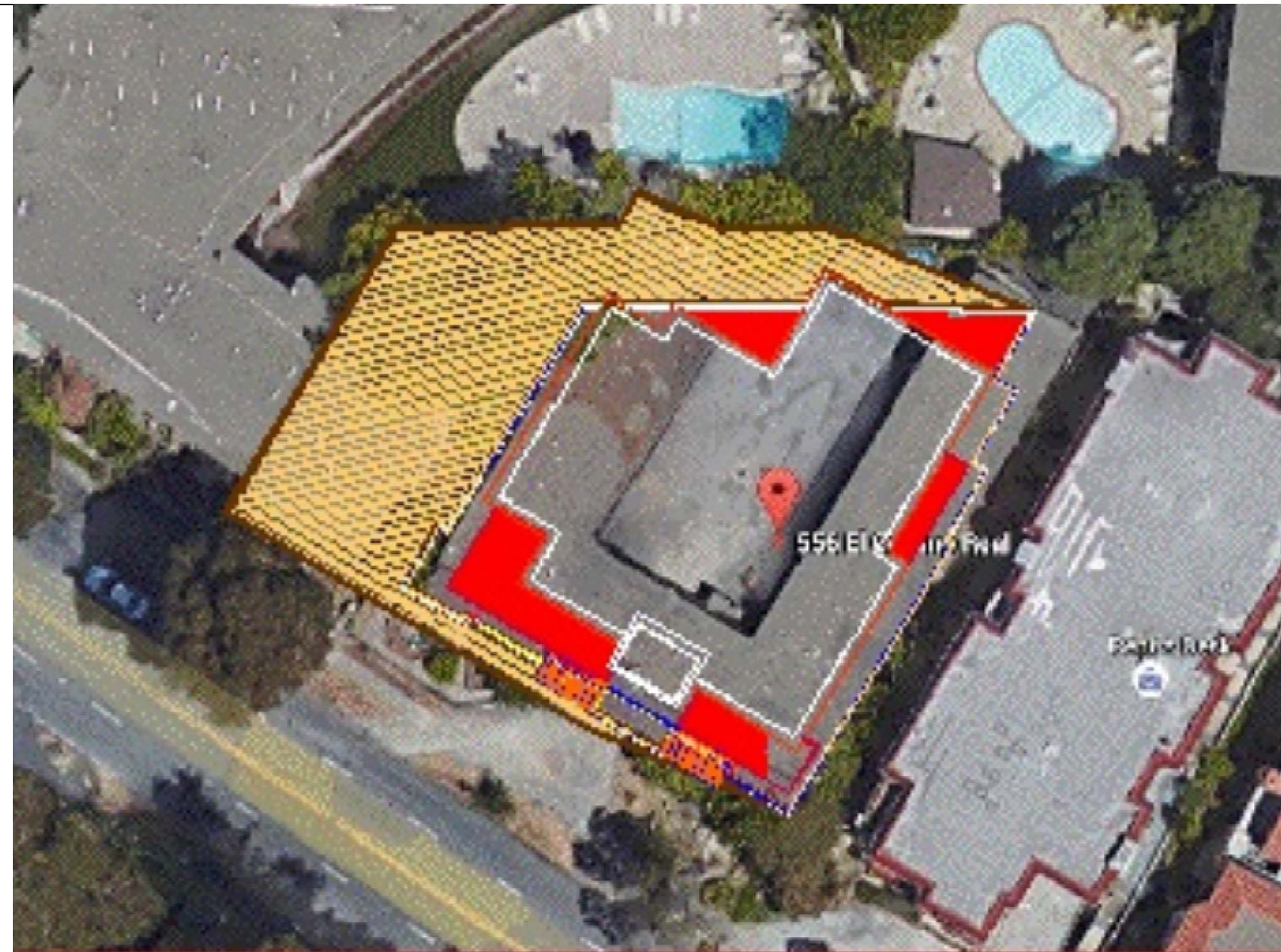
NOON

3 PM

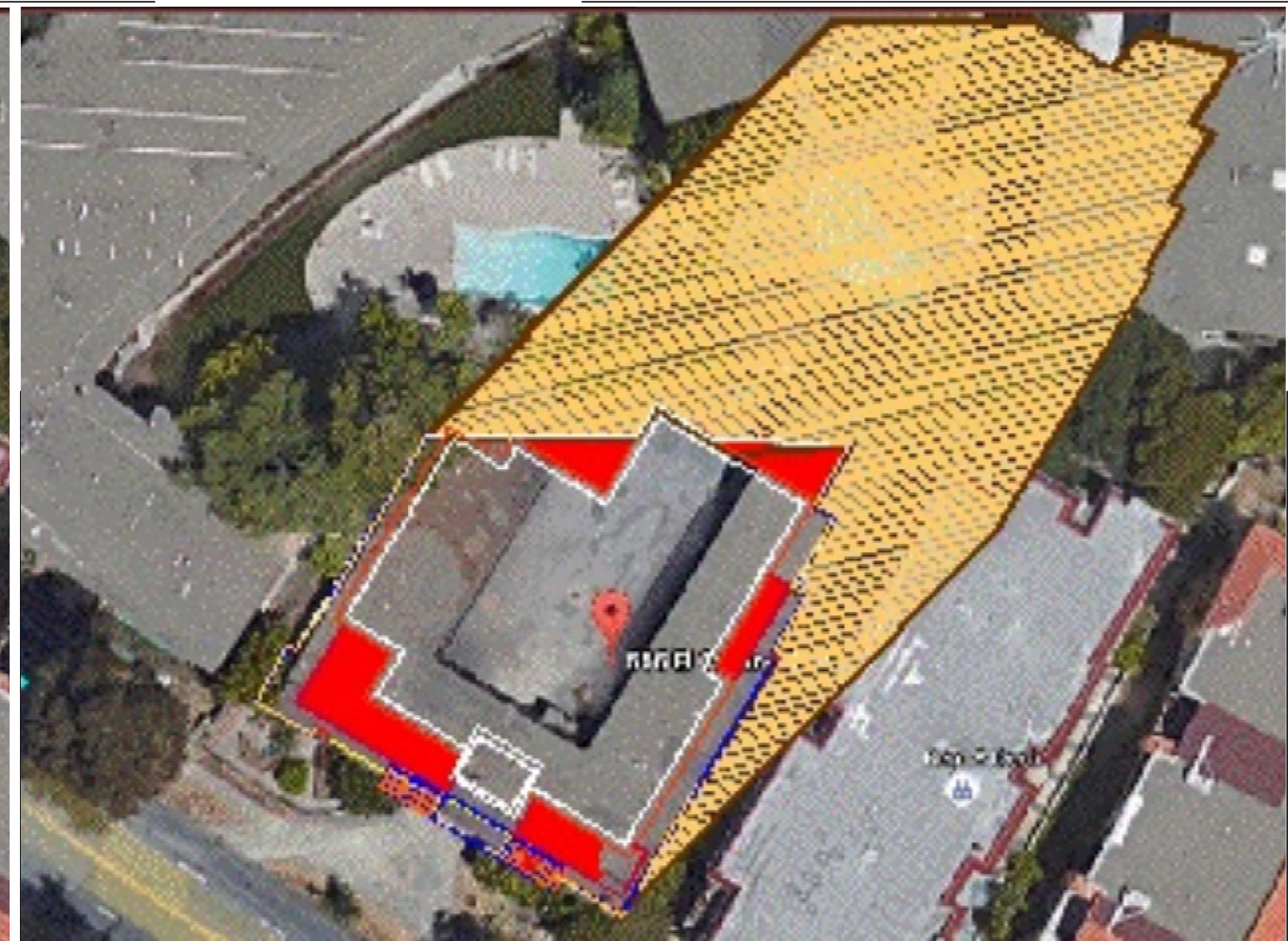
JUNE 21ST



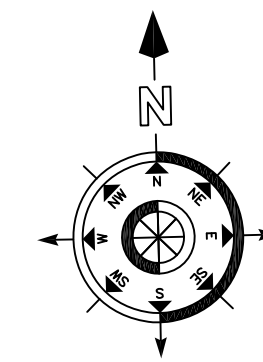
SEPTEMBER/
MARCH 21ST



DECEMBER 21ST

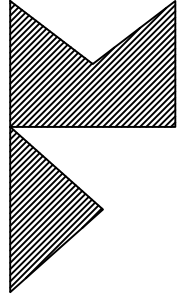


SHADOW STUDIES



21 UNIT CONDOMINIUM 556 EL CAMINO REAL BURLINGAME, CA
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REVISION	BY


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556 EL CAMINO REAL
 BURLINGAME, CA

DATE	09/03/14
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	ROMAN
SHEET	SS-1.0
OF	SHEETS